



City of El Cajon

Planning Commission Agenda

Tuesday, May 16, 2023 Meeting

7:00 PM

DARRIN MROZ, Chair
REBECCA POLLACK-RUDE, Vice Chair
PAUL CIRCO
SHANNON EDISON
ANTHONY SOTTILE

Meeting Location: City Council Chambers, 200 Civic Center Way, El Cajon, CA, 92020

Please note that, pursuant to State and County Health Orders, in-person meetings have resumed. The public is welcome to attend and participate.

The meeting will be live-streamed through the City website at: <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>.

To submit written comments on an item on this agenda, or a Public Comment, please e-mail the comments with Planning Commission in the subject line to planning@elcajon.gov before 5 p.m. on Tuesday, May 16, 2023. Comments will be limited to 300 words and will be entered into the official Commission Meeting Record.

The City of El Cajon is endeavoring to be in total compliance with the Americans with Disabilities Act. If you require assistance or auxiliary aids in order to participate at the Commission meeting, please contact our office at 619-441-1742, option 3, as soon as possible.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

CHAIRPERSON'S WELCOME

PUBLIC COMMENT

This is the opportunity for the public to address the Commission on any item of business within the jurisdiction of the Commission that is not on the agenda. Under state law no action can be taken on items brought forward under Public Comment except to refer the item to staff for administrative action or to place it on a future agenda. Non-agenda public comments must be submitted before the end of public comment during the meeting.

CONSENT

Agenda Item:	1
	Planning Commission minutes of May 2, 2023

Decisions and Appeals - A decision of the Planning Commission is final unless appealed within 10 days of the date of the Commission's action. The appeal period for the items on this Agenda will end on Tuesday, May 30, 2023, at 5:00 p.m. Agenda items which are forwarded to City Council for final action need not be appealed.

PUBLIC HEARINGS

Agenda Item:	2
Project Name:	El Cajon Inn & Suites
Request:	Consider revocation of deemed approved status for a lodging establishment and approval of a conditional use permit for the continued operation of the lodging establishment
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	Revoke deemed approved status and approve Conditional Use Permit (CUP) No. 2023-0003
Location:	1368 East Main Street
Applicant:	Nilesh Patel; 858-442-2495; nilesh@stoneviewproperties.com
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; 2. Adopt the next resolutions in order revoking deemed approved status, approving a CEQA exemption, and approving Conditional Use Permit No. 2023-0003, subject to conditions; and 3. Direct staff to schedule a review of Conditional Use Permit No. 2023-0003 within the next 90 days.

Agenda Item:	3
Project Name:	Madar Variance
Request:	Variance
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number	Variance (VAR) No. 2023-0001
Location:	829 Wakefield Court
Applicant:	Creative Design and Build, Guy Madar, guycreativednb@gmail.com ; 310-282-7276
Project Planner:	Mike Viglione; 619-441-1773; mviglione@elcajon.gov
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 4. Conduct the public hearing; and 5. MOVE to adopt the next resolutions in order approving the CEQA determination, and VAR No. 2023-0001 subject to conditions.

Decisions and Appeals - A decision of the Planning Commission is final unless appealed within 10 days of the date of the Commission's action. The appeal period for the items on this Agenda will end on Tuesday, May 30, 2023, at 5:00 p.m. Agenda items which are forwarded to City Council for final action need not be appealed.

6. OTHER ITEMS FOR CONSIDERATION

7. STAFF COMMUNICATIONS

8. COMMISSIONER REPORTS/COMMENTS

9. ADJOURNMENT

This Planning Commission meeting is adjourned to June 6, 2023 at 7 p.m.



MINUTES PLANNING COMMISSION MEETING May 2, 2023

The meeting of the El Cajon Planning Commission was called to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE & MOMENT OF SILENCE.

COMMISSIONERS PRESENT: Darrin MROZ (Chair)
Rebecca POLLACK-RUDE (Vice Chair)
Paul CIRCO
Anthony SOTTILE
Shannon EDISON

COMMISSIONERS ABSENT: NONE

STAFF PRESENT: Noah ALVEY, Deputy Director of Community Development
Barbara LUCK, Staff Attorney
Roxana GUZMAN, Administrative Secretary

Chair MROZ opened the Planning Commission meeting explaining the rules of conduct.

PUBLIC COMMENT:

There was no public comment.

CONSENT CALENDAR:

Agenda Item:	1
	Planning Commission minutes of April 18, 2023

Motion was made by CIRCO, seconded by POLLACK-RUDE, to approve the April 18, 2023 minutes;
motion carried 5-0.

PUBLIC HEARING ITEM:

Agenda Item:	2	
Project Name:	1274 Oakdale Ave. (Best Inn & Suites)	
Request:	Consider revocation of deemed approved status for a lodging establishment	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	Revoke deemed approved status	
Location:	1274 Oakdale Ave.	
Applicant:	City of El Cajon	
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	<ol style="list-style-type: none">1. Conduct the public hearing;2. Adopt the next resolution in order revoking deemed approved status;3. Direct the operator and property owner to complete certain activities within the next 30 days; and4. Direct staff to schedule a public hearing to consider an amendment or revocation of CUP No. 252 within the next 90 days.	

ALVEY summarized the staff report through a PowerPoint presentation.

El Cajon Police Department Lieutenant Darrin FORSTER spoke to COMMISSIONERS regarding recent criminal activity at the property.

COMMISSIONERS asked questions with ALVEY and FORSTER providing answers.

MROZ opened the public hearing.

Hotel owner representative Pooja PATEL spoke in opposition to the revocation action.

Adjacent property owner Frank STANGLER spoke, but did not indicate support or opposition to the revocation action.

Motion was made by MROZ, seconded by EDISON, to close the public hearing; motion carried 5-0.

COMMISSIONERS discussed the item, asking questions of ALVEY.

Motion was made by SOTTILE, seconded by MROZ, to adopt the next resolution in order revoking deemed approved status for lodging establishment at 1274 Oakdale Avenue, Directing the operator and property owner to work with staff to complete certain activities within 30 days, and

direct staff to schedule a public hearing to consider amendment or revocation of CUP No. 252 within 90 days; motion carried 5-0.

OTHER ITEMS FOR CONSIDERATION:

There were no other items for consideration.

STAFF COMMUNICATIONS:

There were no commissioner reports or comments.

COMMISSIONER REPORTS/COMMENTS:

There were no commissioner reports or comments.

ADJOURNMENT:

Motion was made by MROZ, seconded by CIRCO, to adjourn the meeting of the El Cajon Planning Commission at 7:50 p.m. this 2nd Day of May, 2023, until 7:00 p.m., Tuesday, May 16, 2023; motion carried 5-0.

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary



City of El Cajon

Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	2	
Project Name:	El Cajon Inn & Suites	
Request:	Consider revocation of deemed approved status for a lodging establishment and approval of a conditional use permit for the continued operation of the lodging establishment	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	Revoke deemed approved status and approve Conditional Use Permit (CUP) No. 2023-0003	
Location:	1368 East Main St.	
Applicant:	Nilesh Patel; 858-442-2495; nilesh@stoneviewproperties.com	
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	<ol style="list-style-type: none">1. Conduct the public hearing;2. Adopt the next resolutions in order revoking deemed approved status, approving a CEQA exemption, and approving Conditional Use Permit No. 2023-0003, subject to conditions; and3. Direct staff to schedule a review of Conditional Use Permit No. 2023-0003 within the next 90 days.	

PROJECT DESCRIPTION

This agenda item is before the Planning Commission to consider revocation of the deemed approved status for a lodging establishment (El Cajon Inn & Suites) at 1368 East Main St. The El Cajon Municipal Code (ECMC) indicates that the lodging establishment's deemed approved status may be suspended, modified or revoked by the Planning Commission after holding a public hearing for failure to comply with performance standards.

If the Planning Commission revokes the deemed approved status for the lodging establishment, the establishment would have to cease operations. Therefore, the applicant has proactively submitted a conditional use permit application to allow the continued operation of the lodging establishment, if approved by the Planning Commission. The conditional use permit application includes a project description with proposed site enhancements and an ongoing Operations and Management Plan.

BACKGROUND

General Plan:	General Commercial (GC)
Specific Plan(s):	Specific Plan No. 240
Zone:	General Commercial (C-G)
Other City Plan(s):	Variance No. 655
Regional and State Plan(s):	N/A

Project Site & Constraints

The subject site is approximately 0.86 acres in size and developed with a 37-unit lodging establishment (Best Inn & Suites) and also has a manager/caretaker unit, however, only 35 units are currently be utilized for lodging. The motel is addressed as 1368 East Main St. and the motel rooms are located around the perimeter of site with parking located in the interior. The site is located on the north side of East Main St. between Walter Way and East Madison Ave.

Surrounding Context

The surrounding area is mixed with residential and commercial uses. Surrounding properties are zoned and developed as follows:

Direction	Zones	Land Uses
North	RM-2200	Board and care facility
South	C-G	Hyundai car dealership and Juniper Trailer Court
West	RM-1450 & RM-2200	Apartments
East	C-G	Misc. retail uses

General Plan

The project site is designated General Commercial (GC) on the General Plan Land Use Map. The General Commercial General Plan designation is intended for general shopping or service needs for uses not typically found in shopping centers.

Specific Plan (SP) No. 240

SP No. 240 was approved by the City Council in 1977 and amended in 1980. The plan approves the location of the existing driveway for the lodging establishment and identifies interconnecting access for other properties fronting on East Main St. between Walter Way and East Madison Ave.

General Commercial (C-G) Zone

El Cajon Municipal Code (ECMC) section 17.145.150 indicates that motels and hotels may be approved by a conditional use permit (CUP) in the C-G zone. The CUP is intended to ensure compliance with applicable development standards, use restrictions, and compatibility with surrounding properties. The existing motel was approved by Site Development Plan No. 548, prior to the requirement for a CUP. Variance No. 655 was also approved to allow a rear setback of 5 ft., rather than the typical 10 ft. setback.

Deemed Approved Lodging Establishment Ordinance

The deemed approved lodging establishment (hotel and motel) ordinance was approved by the City Council on June 25, 2019 and confers deemed approved status on all existing lodging establishments, requires compliance with performance standards, and creates a mechanism for the modification or revocation of deemed approved status for problem properties. The purpose of the ordinance is to provide a common set of expectations and standards that all lodging establishments must abide by to provide guests with clean and safe lodging and to minimize nuisance or criminal activity commonly associated with temporary lodging. Nuisance activities may include, but are not limited to, disturbance of the peace, illegal drug activity, prostitution, drinking in public, harassment of passersby, gambling, trafficking in stolen goods, public urination, theft, assault, battery, vandalism, illegal parking, excessive noise, traffic violations, curfew violations, lewd conduct, or excessive police detentions or arrests.

When considering revocation of a deemed approved lodging establishment status, the Planning Commission is asked to determine whether the lodging establishment is in compliance with the operational standards for management operations, registration requirements, guest room security measures (locks, operable windows, and window shades), minimum property standards, maintenance activity, nuisance activity, transient occupancy tax collection, and compliance with all provisions of local, state or federal laws, regulations or orders. Based on this determination, the Planning Commission may suspend, modify or revoke the lodging establishment's deemed approved status.

DISCUSSION

The revocation hearing for the deemed approved lodging status of 1368 East Main St. was scheduled due to violations of the Deemed Approved Lodging Establishment Ordinance related to registration requirements.

On December 12, 2022, the El Cajon Police Department (ECPD) responded to a call for service concerning the welfare of a 16 year old girl at the motel. ECPD found the girl in one of the motel rooms with a gunshot wound to the head. The subsequent investigation found that rooms of the motel were rented to and occupied by minors for several consecutive days. A runaway 14 year old juvenile was renting room #5. ECPD Detectives interviewed the 14 year old juvenile and asked him how he was able to obtain the room. The 14 year old juvenile told detectives that he paid an adult male cash to initially obtain the room for him. This adult male was already staying at the motel in a separate room under a County of San Diego funded emergency housing program. The 14 year old juvenile told detectives that he extended his stay at the motel by going up to the front counter where he would pay a motel employee cash. The 14 year old described the employee as a younger Asian male. ECPD knows from past calls that the motel owner's son has typically assisted with the work duties at this motel. Another adult who was staying in a separate room rented room #4 for juveniles. A 17 year old juvenile was the

primary person staying in this room. During an interview with the 17 year old juvenile's girlfriend, ECPD Detectives learned that the 17 year old juvenile extended his stay in room #4 by paying an employee cash at the front office window of the business. The girlfriend also stated she believed the room had been rented for weeks.

Renting motel rooms to minors is a violation of ECMC section 17.212.070(B), with reference to ECMC chapter 9.25, which stipulates registration requirements for lodging establishments. Furthermore, ECMC section 17.212.070(H) requires compliance with all local, state or federal laws, regulations, and orders.

On December 22, 2022, the Director of Community Development sent a letter to the owner and operator related to calls for service at the motel during the 2022 calendar year. Twenty-four calls for service were identified that were related to nuisance activities described in the ECMC. The nuisance activities included disturbing the peace, battery, and illegal drug activity.

On January 27, 2023, the Director of Community Development issued a notice of violation based on the violations for registration requirements. In conjunction with the notice of violation, the operator and property owner for the motel were notified that the lodging establishment's deemed approved status and the ability to conduct lodging establishment activities may be suspended, modified, or revoked by the El Cajon Planning Commission at a public hearing on May 16, 2023. ECMC section 17.212.090 gives authority to the enforcement officer to refer this matter directly to the planning commission for a hearing at which the establishment's deemed approved status may be suspended, modified or revoked. The notice also strongly recommended that the operator apply for a CUP to allow the Planning Commission to also consider the CUP on May 16, 2023 public hearing.

On March 30, 2023, the applicant proactively submitted a CUP application to allow for the continued lodging establishment operation if the establishment's deemed approved status is revoked. The project description includes an extensive list of new exterior and interior improvements, which include general property maintenance, painting, new landscaping, and the installation of wrought iron fencing along the exterior property line. The applicant has also submitted an Operations and Management Plan which includes managerial responsibilities for human trafficking training, requiring copies of government issued identification at check-in, parking permit procedures, prohibition for unregistered guests, collection of data for emergency housing placement programs, activity reports for overnight security patrols, and on-site security cameras.

Based on the length of time that the motel has been out of compliance with the operational standards, the impact of the violation of the operational standards on the community, and the lack of efforts to remedy the violation of the operational standard, the Planning Commission may suspend, modify, or revoke the lodging establishment's deemed approved status. If the lodging establishment's deemed approved status is revoked, the Planning Commission may choose to approve CUP No. 2023-0003 in order to allow the

lodging establishment to continue operating. Additionally, if CUP No. 2023-0003 is approved, the Planning Commission may consider scheduling a review of the CUP in approximately 90 days to confirm the completion of the property maintenance, including landscaping and security fencing, and to monitor the calls for service occurring at the property.

FINDINGS

Revocation of Deemed Approved Lodging Establishment Findings

- A. *The proposed deemed approved status revocation is consistent with applicable goals, policies and programs of the General Plan and applicable Specific Plans.*

The revocation of the deemed approved status is consistent with General Plan Objective 9-4, that "All commercial development shall be subject to...strict standards of performance." Furthermore, General Plan Policy 5-9.1 directs the City to improve public safety for all residents through community policing efforts and crime prevention measures by ensuring lodging establishments remain compatible with adjacent properties and developments.

- B. *The proposed deemed approved status revocation will ensure the establishment will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.*

The revocation of the deemed approved status for the lodging establishment will ensure any future lodging activities will not be allowed without approval of a conditional use permit with conditions designed to reduce the number of nuisance calls relating to lodging establishment guests conducting illegal drug activity, disturbing the peace, and other nuisance activities described in the Deemed Approved Lodging Ordinance, if the site is properly managed.

- C. *The proposed deemed approved status revocation is in the best interest of public convenience and necessity.*

The El Cajon City Council desires to ensure a healthy and safe business environment, consistent with the standards and guidelines of the Deemed Approved Lodging Ordinance. The revocation of the deemed approved status will assist in improved public health, safety, and general welfare by eliminating an existing deemed approved lodging establishment that has contributed to an unsafe environment and has not abided by the deemed approved performance standards. Moreover, it is in the best interest of public health and safety to revoke the deemed approved status of a lodging establishment where registration requirements have not been followed.

Conditional Use Permit No. 2023-0003

- A. *The proposed use is consistent with applicable goals, policies, and programs of the general plan, and with any applicable specific plan;*

The continuation of the existing lodging establishment is consistent with the General Commercial General Plan designation which anticipates “strip commercial” areas along major streets with commercial uses, including motels and hotels. General Plan Policy 5-9.1 directs the City to improve public safety for all residents. The application of operational standards is necessary to ensure public safety, prevent nuisance activities, and consistency with General Plan goals, policies, and programs; and because the proposed site enhancements are consistent with General Plan goals to improve the appearance of the City.

- B. *The proposed site plan and building design are consistent with all applicable use and development standards.*

The proposed site plan and existing building design are consistent with applicable use and development standards because the site was granted a rear yard setback variance and because conditions of approval will ensure consistency with the applicable use and development standards.

- C. *The proposed use will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.*

The application of performance standards, conditions of approval, and through proper implementation of the Operations and Management Plan which includes detailed registration procedures, managerial responsibilities, safety and security measures, staff training procedures, emergency contact information, and an affidavit of acknowledgement will ensure the establishment will operate in manner that is compatible with existing and planned land uses in the vicinity.

- D. *The proposed use and project design will not be detrimental to the public health, safety, and general welfare, including but not limited to matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.*

The proposed operating standards and conditions will assist in improved public health, safety, and general welfare, which are designed to reduce and not compound existing problems in the neighborhood created by the lodging establishment.

- E. *The proposed use is in the best interest of public convenience and necessity.*

A well maintained and operated lodging establishment is in the best interest of public convenience and necessity as it facilitates the temporary lodging needs of individuals within the City and as long as nuisance activities are minimized and properly managed by the operator.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The revocation of the lodging establishment’s deemed approved status is not subject to the California Environmental Quality Act (CEQA). Section 15060(c)(3) of the CEQA Guidelines states that CEQA does not apply to actions that do not meet the definition of a “project”. In this instance, the termination of the deemed approved status is not a

“project” because the actions to terminate have no potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.

The approval of a conditional use permit for the existing lodging establishment is exempt from the provisions of the CEQA according to sections 15301 the CEQA Guidelines. Section 15301 provides an exemption for the operation, maintenance, and repair of existing private structures with negligible or no expansion of use beyond that existing use. The conditional use permit will regulate the operation of the existing motel and does not authorize any expansion of use.

PUBLIC NOTICE & INPUT

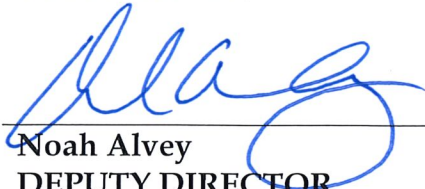
Notice of this public hearing was mailed on May 4, 2023, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City’s website under “Public Hearings/Public Notices.” The notice was also mailed to the two public libraries in the City of El Cajon, located at 201 East Douglas Avenue and 576 Garfield Avenue.

RECOMMENDATION

Revoke the lodging establishment’s deemed approved status, approve the CEQA exemption for CUP No. 2023-0003, approve CUP No. 2023-0003 subject to conditions; and direct staff to schedule a review of CUP No. 2023-0003 within the next 90 days

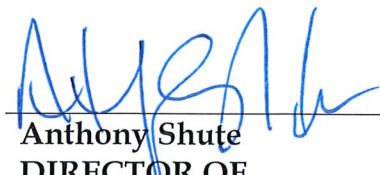
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PREPARED BY:



Noah Alvey
DEPUTY DIRECTOR
OF COMMUNITY
DEVELOPMENT

APPROVED BY:



Anthony Shute
DIRECTOR OF
COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution REVOKING Deemed Approved Status
3. Proposed CEQA Resolution
4. Proposed Resolution of APPROVAL for CUP No. 2023-0003
5. Letter to Property Owners dated December 22, 2022
6. Notice of Violation dated January 27, 2023
7. Application
8. Disclosure Statement
9. Applicant's Project Description
10. Operations & Management Plan
11. CUP 2023-0003 Site Plan
12. El Cajon Municipal Code Chapter 17.212

If you have any questions, or wish any additional information, please contact **NOAH ALVEY** at 619-441-1795 or via email at nalvey@elcajon.gov and reference "1368 East Main St." in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION REVOKING THE DEEMED APPROVED STATUS FOR A LODGING ESTABLISHMENT (EL CAJON INN & SUITES) LOCATED AT 1368 EAST MAIN STREET IN THE C-G (GENERAL COMMERCIAL) ZONE, APN: 489-180-75, GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL (GC)

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on May 16, 2023, to consider the revocation of deemed approved status of a lodging establishment in the C-G zone, on property located on the north side of East Main St., between Walter Way and East Madison Ave., and addressed as 1368 East Main St.; and

WHEREAS, on December 12, 2022, the Police Department responded to a call for service concerning the welfare of a 16 year old girl at the motel and found the girl in one of the motel rooms with a gunshot wound to the head; and

WHEREAS, the subsequent investigation found that rooms of the motel were rented to and occupied by minors for several consecutive days and that renting motel rooms to minors is a violation of ECMC section 17.212.070(B), with reference to ECMC chapter 9.25, which stipulates registration requirements for lodging establishments; and

WHEREAS, on January 27, 2023, the Director of Community Development issued a notice of violation based on the violations of registration requirements; and

WHEREAS, on March 30, 2023, the applicant submitted a conditional use permit application which includes proposed site enhancements and an Operations and Management Plan, which include more detailed standards than the Deemed Approved Lodging Ordinance; and

WHEREAS, the evidence presented to the Planning Commission at the public hearing includes the following:

- A. In determining whether the proposed action is categorically exempt from environmental review in accordance with section 15060(c)(3) of the CEQA Guidelines, which states that CEQA does not apply to actions that do not meet the definition of a "project". The revocation of the deemed approved status for the lodging establishment is not a "project" because the action has no potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.
- B. The revocation of the deemed approved status is consistent with General Plan Objective 9-4, that "All commercial development shall be subject to...strict standards of performance." Furthermore, General Plan Policy 5-9.1 directs the City

Proposed Planning Commission Resolution

to improve public safety for all residents through community policing efforts and crime prevention measures by ensuring lodging establishments remain compatible with adjacent properties and developments.

- C. The revocation of the deemed approved status for the lodging establishment will ensure any future lodging activities will not be allowed without approval of a conditional use permit with conditions designed to reduce the number of nuisance calls relating to lodging establishment guests conducting illegal drug activity, disturbing the peace, and other nuisance activities described in the Deemed Approved Lodging Ordinance, if the site is properly managed.
- D. The El Cajon City Council desires to ensure a healthy and safe business environment, consistent with the standards and guidelines of the Deemed Approved Lodging Ordinance. The revocation of the deemed approve status will assist in improved public health, safety, and general welfare by eliminating an existing deemed approved lodging establishment that has contributed to an unsafe environment and has not abided by the deemed approved performance standards. Moreover, it is in the best interest of public health and safety to revoke the deemed approved status of a lodging establishment where registration requirements have not been followed.

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

1. The foregoing recitals are true and correct and include the findings of the Planning Commission.
2. The El Cajon Planning Commission here finds that the Section 15060(c)(3) of the CEQA Guidelines is an appropriate exemption for the proposed project.
3. The El Cajon Planning Commission hereby REVOKES the deemed approved status of the lodging establishment (El Cajon Inn & Suites) at 1368 East Main St. in the C-G (General Commercial) zone.

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Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held May 16, 2023, by the following vote:

AYES:

NOES:

ABSENT:

Darren MROZ, Chair

ATTEST:

Noah ALVEY, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTIONS 15301 (EXISTING FACILITIES) FOR CONDITIONAL USE PERMIT NO. 2023-0003 FOR THE CONTINUED OPERATION OF A LODGING ESTABLISHMENT (EL CAJON INN & SUITES) LOCATED AT 1368 EAST MAIN STREET IN THE C-G (GENERAL COMMERCIAL) ZONE, APN: 489-180-75, GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL (GC)

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on May 16, 2023, to consider Conditional Use Permit ("CUP") No. 2023-0003, as submitted by HWL Planning and Engineering on behalf of El Cajon Motel, LLC, requesting the continued operation of a lodging establishment in the General Commercial ("C-G") zone, on the north side of East Main Street between Walter Way and East Madison Ave., and addressed as 1368 East Main St.; and

WHEREAS, in accordance with CEQA Guidelines section 15061(b)(2), the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, the project is exempt from CEQA under sections 15301 (Existing Facilities) which provides an exemption for the operation, maintenance, and repair of existing private structures with negligible or no expansion of use beyond that existing use; and

WHEREAS, no evidence was presented in proceedings that any of the conditions exist to provide exceptions to categorical exemptions as described in CEQA Guidelines section 15300.2, exist.

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed conditional use permit.
2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the proposed CEQA exemption for the continued operation of a lodging establishment.

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held May 16, 2023, by the following vote:

AYES:
NOES:
ABSTAIN:

ATTEST:

Darrin MROZ, Chairperson

Noah ALVEY, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CONDITIONAL USE PERMIT NO. 2023-0003 FOR THE CONTINUED OPERATION OF A LODGING ESTABLISHMENT (EL CAJON INN & SUITES) LOCATED AT 1368 EAST MAIN STREET IN THE C-G (GENERAL COMMERCIAL) ZONE, APN: 489-180-75, GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL (GC)

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on May 16, 2023, to consider Conditional Use Permit ("CUP") No. 2023-0003, as submitted by HWL Planning and Engineering on behalf of El Cajon Motel, LLC, requesting the continued operation of a lodging establishment in the General Commercial ("C-G") zone, on the north side of East Main Street between Walter Way and East Madison Ave., and addressed as 1368 East Main St.; and

WHEREAS, the evidence presented to the Planning Commission at the public hearing includes the following:

- A. The proposed project is exempt from CEQA under sections 15301, Class 1 (Existing Facilities) which provides an exemption for the operation, maintenance, and repair of existing private structures with negligible or no expansion of use beyond that existing use;
- B. The continuation of the existing lodging establishment is consistent with the General Commercial General Plan designation which anticipates "strip commercial" areas along major streets with commercial uses, including motels and hotels. General Plan Policy 5-9.1 directs the City to improve public safety for all residents. The application of operational standards is necessary to ensure public safety, prevent nuisance activities, and consistency with General Plan goals, policies, and programs; and because the proposed site enhancements are consistent with General Plan goals to improve the appearance of the City;
- C. The proposed site plan and existing building design are consistent with applicable use and development standards because the site was granted a rear yard setback variance and because conditions of approval will ensure consistency with the applicable use and development standards;
- D. The application of performance standards, conditions of approval, and through proper implementation of the Operations and Management Plan which includes detailed registration procedures, managerial responsibilities, safety and security measures, staff training procedures, emergency contact information, and an affidavit of acknowledgement will ensure the establishment will operate in manner that is compatible with existing and planned land uses in the vicinity;
- E. The proposed operating standards and conditions will assist in improved public health, safety, and general welfare, which are designed to reduce and not

compound existing problems in the neighborhood created by the lodging establishment;

- F. A well maintained and operated lodging establishment is in the best interest of public convenience and necessity as it facilitates the temporary lodging needs of individuals within the City and as long as nuisance activities are minimized and properly managed by the operator.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES Conditional Use Permit No. 2023-0003 for the continued operation of a lodging establishment in the C-G zone, on the above described property subject to the following conditions:

1. The applicant shall submit and obtain approval of a one-page, 24" by 36" digital site plan for Conditional Use Permit No. 2023-0003 that includes the following specific notes and changes:
 - a. Include the following note: "This project shall comply with the Standard Conditions of Development from Planning Commission Resolution No. 10649, as applicable" as well as the ongoing conditions listed in condition 4.
 - b. Include the El Cajon Title Block as shown in the "Additional Requirements for Planning Permits".
2. The applicant shall complete all of the site enhancements described in the project description within the next 90 days.
3. The lodging establishment shall adhere to all provisions of the Operations and Management Plan as approved and presented to the Planning Commission on May 16, 2023, and on file in the Community Development Department. The Director of Community Development is authorized to require the Plan to be changed, updated, or refined from time to time to ensure the lodging establishment remains compatible with adjacent properties and nuisance activities are minimized.
4. A review of this conditional use permit shall be conducted in approximately 90 days to confirm the completion of proposed site enhancements described in the project description.

[The remainder of this page intentionally left blank.]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held May 16, 2023, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chairperson

ATTEST:

Noah ALVEY, Secretary



Community Development

December 22, 2022

El Cajon Inn & Suites
1368 E. Main St.
El Cajon, CA 92021

El Cajon Motel, LLC
14493 Old Creek Rd.
San Diego, CA 92131-4275

Re: Deemed Approved Lodging Nuisance Activities at 1368 E. Main St.

On June 25, 2019, the El Cajon City Council adopted a new lodging establishment (hotel and motel) ordinance to address community concerns associated with lodging activities. All existing permitted, conditionally permitted, and legal nonconforming hotels and motels were automatically deemed approved as of July 25, 2019.

Each deemed approved lodging establishment is expected to comply with the performance standards and regulations of the Deemed Approved Lodging Establishment Ordinance, provided that actions to achieve compliance are exercised in a way that does not violate State Fair Employment and Housing laws and regulations. Noncompliance with performance standards could ultimately result in an assortment of City involvement, beginning with training in proper motel management; suggestions of environmental changes (e.g., placement of appropriate lighting, security cameras, elimination of access to non-publicly visible areas, etc.); warnings if training and environmental changes are not effective or disregarded; administrative citations; and ultimately the suspension, modification, or revocation of deemed approved status, if the property can be legally considered a public nuisance. The ordinance is contained in El Cajon Municipal Code (ECMC) Chapter 17.212 available at the following link:

https://library.qcode.us/lib/el_cajon_ca/pub/municipal_code/item/title_17-chapter_17_212.

ECMC section 17.212.070.F identifies nuisance activities and states, "deemed approved lodging establishment activities shall not result in nuisance activities on the property or contribute to nuisance activities in close proximity to the property. Nuisance activities may include, but are not limited to, disturbance of the peace, illegal drug activity,

prostitution, drinking in public, harassment of passersby, gambling, trafficking in stolen goods, public urination, theft, assault, battery, vandalism, illegal parking, excessive noise, traffic violations, curfew violations, lewd conduct, or excessive police detentions or arrests.”

The El Cajon Police Department has completed a review of calls for service (CFS) for 1368 E. Main St. during the 2022 calendar year. Twenty-four CFS have been identified related to the nuisance activities described in ECMC section 17.212.070.F.

These identified activities include (1) disturbing the peace, (2) battery, and (3) illegal drug activity. At this time the City requests that you contact the undersigned to set up a meeting in January to go over these twenty-three calls for service to allow us to help you to modify operations and identify physical challenges on the property that might reduce the CFS in the coming weeks.

Please provide a response to this letter no later than January 10, 2023, indicating when such a meeting can take place. Perhaps by that time you might be able to identify a plan to address activities at the site through modified operations, training, infrastructure, or physical modifications. Representatives from this department, as well as police and fire, will be available to assist.

If you should have any questions, or wish to set up a time to meet, please contact me at 619-441-1742.

Sincerely,

Anthony Shute
Director



Community Development

January 27, 2023

Sent Via Certified
and First Class Mail

NOTICE OF VIOLATION AND ADMINISTRATIVE HEARING

Location: 1368 East Main Street, El Cajon, CA 92021

Assessor's Parcel No.: 489-180-75-00

Property Owner: El Cajon Motel, LLC
Scott Miller

Address: 14493 Old Creek Road
San Diego, CA 92131-4275

Business/Tenant: El Cajon Inn & Suites

Address: 1368 East Main Street
El Cajon, CA 92021

Sunny Hospitality LLC
Reshmaben A Patel- Agent for Service of Process
9050 Moody Street
Cypress, CA 90630

BACKGROUND

On December 12, 2022, the El Cajon Police Department responded to a call for service concerning the welfare of a 16 year old girl at the above referenced premises. Police found the girl in one of the motel rooms with a gunshot wound to the head. The police investigation found that rooms at the motel were rented to and occupied by minors for several consecutive days. Renting motel rooms to minors is a violation of El Cajon Municipal Code (ECMC) section 17.212.070.B "Deemed approved performance standards for lodging establishments," with reference to ECMC chapter 9.25, which stipulates registration requirements for lodging establishments. Furthermore, ECMC section

17.212.070.H requires compliance with all local, state or federal laws, regulations and orders.

On June 25, 2019, the El Cajon City Council adopted a new lodging establishment (hotel and motel) ordinance to address community concerns associated with lodging activities. All existing permitted, conditionally permitted, and legal nonconforming motels and hotels were automatically deemed approved as of July 25, 2019, and are no longer considered exempted, permitted, conditionally permitted or legal nonconforming. The deemed approved lodging ordinance also requires that all deemed approved establishments must adhere to the deemed approved performance standards, which were sent to the above referenced location by certified mail on August 2, 2019. In summary, the ECMC regulates the land use of the above referenced premises for transient lodging operations.

VIOLATION

ECMC section 17.212.070.B – Deemed approved performance standards for lodging establishments.

ECMC section 17.212.070.B requires lodging establishments to comply with all provisions of local, state or federal laws, regulations or orders, including but not limited to those of ECMC chapter 9.25 (Registration Regulations), as well as any condition imposed on any permits issued pursuant to applicable laws, regulations or orders. The renting of rooms to minors is a violation of this code section.

For failure to comply with the deemed approved performance standards you are hereby notified that your lodging establishment's deemed approved status and the ability to conduct lodging establishment activity may be suspended, modified or revoked by the El Cajon Planning Commission at a public hearing scheduled on **May 16, 2023 at 7:00 p.m. in the City of El Cajon Council Chambers located at 200 Civic Center Way, El Cajon CA 92020**. The public hearing will be conducted as prescribed in ECMC chapter 1.32 "Judicial Review." A copy of Chapter 1.32 is enclosed for your review.

Please note that if the Planning Commission revokes your lodging establishment's deemed approved status, you will no longer be able to conduct lodging establishment activities at the premises referenced above. Lodging establishment activities may only be re-established with a conditional use permit approved by the Planning Commission after holding a duly advertised public hearing and in accordance with ECMC chapter 17.50. It is strongly suggested that you take this opportunity to complete and submit a conditional use permit application to the Planning Division no later than **March 6, 2023**, requesting Planning Commission approval to conduct lodging establishment activities at the above referenced premises. This will allow the Planning Division sufficient time to prepare the permit request for submission to the Planning Commission at the same public hearing scheduled for **May 16, 2023**. If you choose not to submit a conditional use permit application, and if the Planning Commission finds that your lodging establishment was

Notice of Violation & Administrative Hearing
El Cajon Inn & Suites
January 27, 2023

operated out of compliance with the deemed approved performance standards, then you risk losing the ability to conduct lodging establishment activities at the premises referenced above.

PENALTIES

Please note that any person violating any of the provisions of ECMC chapter 17.212 or who causes or permits another person to violate any provision of ECMC chapter 17.212 may be charged with either an infraction or a misdemeanor, and shall be subject to the provisions of the general penalty clause in ECMC section 1.24.010. The City may pursue any and all other legal remedies that may be available, including but not limited to civil actions filed by the City Attorney seeking any and all appropriate relief such as civil injunctions and penalties. In addition to the punishment provided by law a violator is liable for such costs expenses and disbursements paid or incurred by the City or any of its contractors in correction, abatement and prosecution of the violation. Re-inspection fees to ascertain compliance with previously noticed or cited violations may be charged against the owner of the establishment conducting the deemed approved activity or owner of the property where the establishment is located.

If you have any questions, please call the City of El Cajon at 619-441-1742.



Anthony Shute
Director

cc: Graham Mitchell, City Manager
Morgan Foley, City Attorney
Mike Moulton, Police Chief, El Cajon Police Department

Enclosures and Attachments

1. El Cajon Municipal Code Excerpts
 - a. Chapter 1.24 (General Penalty)
 - b. Chapter 1.32 (Judicial Review)
 - c. Chapter 1.36 (Administrative Hearings)
 - d. Applicable sections of Chapter 17.212 (Deemed Approved Lodging Establishment Regulations)
2. Planning Permit Application (Conditional Use Permit)
3. Additional Planning Permit Requirements
4. Disclosure Statement



Project Assistance Center
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 489-180-75

Address: 1368 E. Main Street, El Cajon CA 92021

Nearest Intersection: E. Madison Avenue

Project Description (or attach separate narrative)

The site contains an existing 35-room motel (El Cajon Inn & Suites), with a "deemed approved" status per City of El Cajon Municipal Code Chapter 17.212. Due to the current poor condition of the property, the owner was notified that the site's status is now under review by the City and may be revoked by Planning Commission. While disputing the potential revocation, the property owner has chosen to concurrently pursue a CUP. See the full project description for more detail.

Project Screening Questions

Existing use?

☐ No ☒ Yes

Modification of use?

☒ No ☐ Yes

New development or addition?

☒ No ☐ Yes

Existing Structures?

☐ No ☒ Yes

If yes, please describe:

35-unit motel with Manager's Unit

Age of the structures: more than 50 years

[Handwritten signature] 3/23/23

Demolition or substantial modification proposed to site improvements or structures? ☒ No ☐ Yes _____

Tenant improvements proposed? ☐ No ☒ Yes _____ Site upgrades. See Project Description.

Existing vegetation or trees on site proposed for removal? ☒ No ☐ Yes _____

Proposed grading? ☒ No ☐ Yes _____ Proposed quantities of cut and/or fill.

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: El Cajon Motel, LLC

Contact Name: Nilesh Patel

Mailing Address: 14493 Old Creek Road, San Diego CA 92131

Phone: 858-442-2495 Email: nilesh@stoneviewproperties.com

Interest in Property: ☒ Own ☐ Lease ☐ Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Howes, Weiler, Landy Planning & Engineering

Contact Name: Sally Schiffman License: n/a

Mailing Address: 2888 Loker Avenue East, Carlsbad CA 92010

Phone: 760-953-8566 Email: sschifman@hwl-pe.com

Property Owner Information (if different than applicant)

Company Name: n/a

Contact Name: n/a

Mailing Address: n/a

Phone: n/a Email: n/a

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

[Handwritten signature] 3/29/23

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

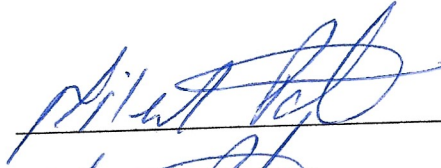
☒ is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

☐ is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

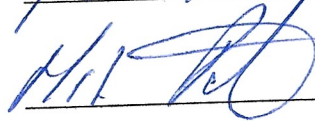
Authorization

Applicant Signature¹:



Date: 3/29/23

Property Owner
Signature²:

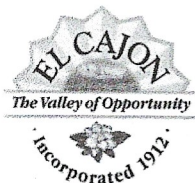


Date: 3/29/23

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-submittal Review

The purpose of a pre-submittal review is to provide you an opportunity to review your project with the City's development team in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**



Project Assistance Center
Planning Group
DISCLOSURE STATEMENT

Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

NILESH PATEL
14493 OLD CREEK ROAD, SAN DIEGO, CA 92131.

List the names and address of all persons having any ownership interest in the property involved.

Nilesh PATEL
14493 Old creek Road, SD CA, 92131.

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

NILESH PATEL 100 %

3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

NONE

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes _____ No X

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

n/a

"Person" is defined as "Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert." Gov't Code §82047.


Signature of applicant / date

NILESH PATEL
Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.

EL CAJON INN & SUITES – CONDITIONAL USE PERMIT REQUEST

PROJECT DESCRIPTION

El Cajon Motel, LLC (applicant) is requesting the City of El Cajon (City) process a Conditional Use Permit (CUP) to allow the existing 35-room motel with manager's unit, located at 1368 E. Main Street (APN: 489-180-75-00), to continue to operate as a 35-room motel with manager's unit. The EL Cajon Inn & Suites Project (project) will include site improvements as described herein.

The fully developed project site is approximately 0.86 acres in size and contains three buildings (two one-story buildings, and one two-story building) totaling approximately 11,322 square feet (sf) of gross building area. There are 35 leasable units, which range in size from approximately 209 sf to 387 sf. There is also a manager's unit, operations and management space, and laundry facilities. Each of the rooms are similar in layout and the units are typical motel rooms and include a full bathroom, a closet, 1-2 beds, a desk, a small dresser/counter area with mini-fridge and microwave, a television, and air conditioning unit.

There are a total of 36 parking spaces on the property, or approximately 1 per room. Driveway access to the site is via East Main Street. Freestanding signage is located at the entrance to the hotel property. The Project site has a General Plan land use and Zoning designation of General Commercial.

Surrounding land uses include Cottonwood Canyon Healthcare Center to the north; Main Side Center, a commercial retail center, to the east; a Hyundai car dealership, Caliber Collision vehicle repair shop, and Juniper Trailer Court (mobile home park) to the south across E. Main Street; Vista Bella apartment homes abutting the property to the west; and a mix of single-family and multi-family homes to the northwest.

Figure 1: Vicinity Map depicts the project location. **Figure 2: Project Aerial** provides an aerial view of the site, while **Figure 3: Existing Site Photographs** shows photos of the property. **Figure 4: Zoning Map** shows the zoning designations for the project site and surrounding area.

Site Improvements

Through years of use as a motel, the property has been subject to wear and tear. The property owner will conduct a site assessment of the property and each unit to determine appropriate upgrades. Site improvements will be undertaken as needed, and may include, but not be limited to:

Exterior Improvements, as needed:

- Stucco and paint repair and/or maintenance
- Roof repair and/or maintenance
- Parking lot maintenance, including repaving and restriping
- Repaired stairwells (in kind)
- Maintained fencing (new fencing to be installed in spring 2023)
- Renovated and maintained landscaping (existing landscaping is in poor to good condition; new landscaping will comply with the city-approved plant palette)
- Continued pest control treatments
- Installation of energy efficient lighting
- Maintenance of the security camera system (new security system installed in spring 2023)

Figure 1: Vicinity Map

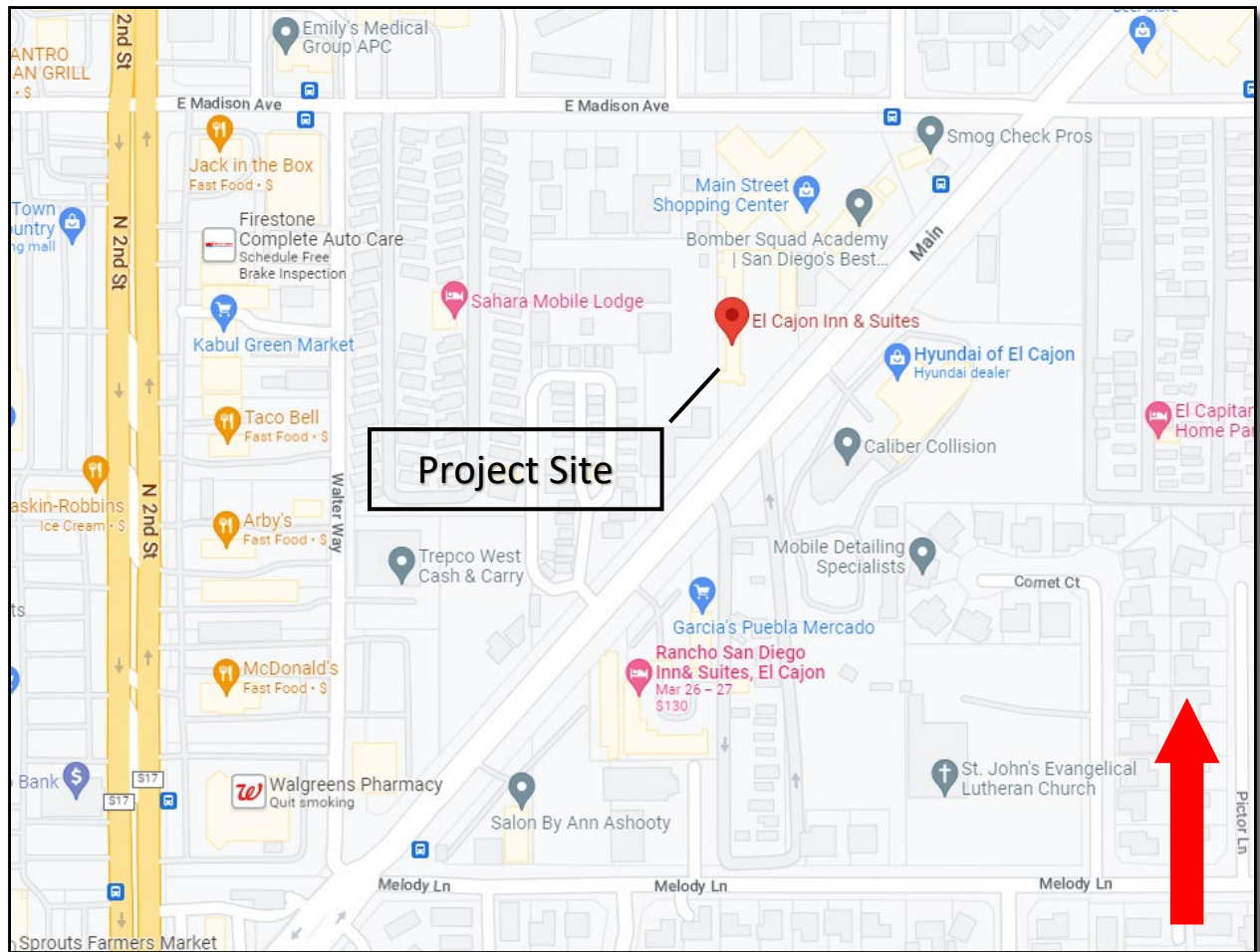


Figure 2: Project Aerial

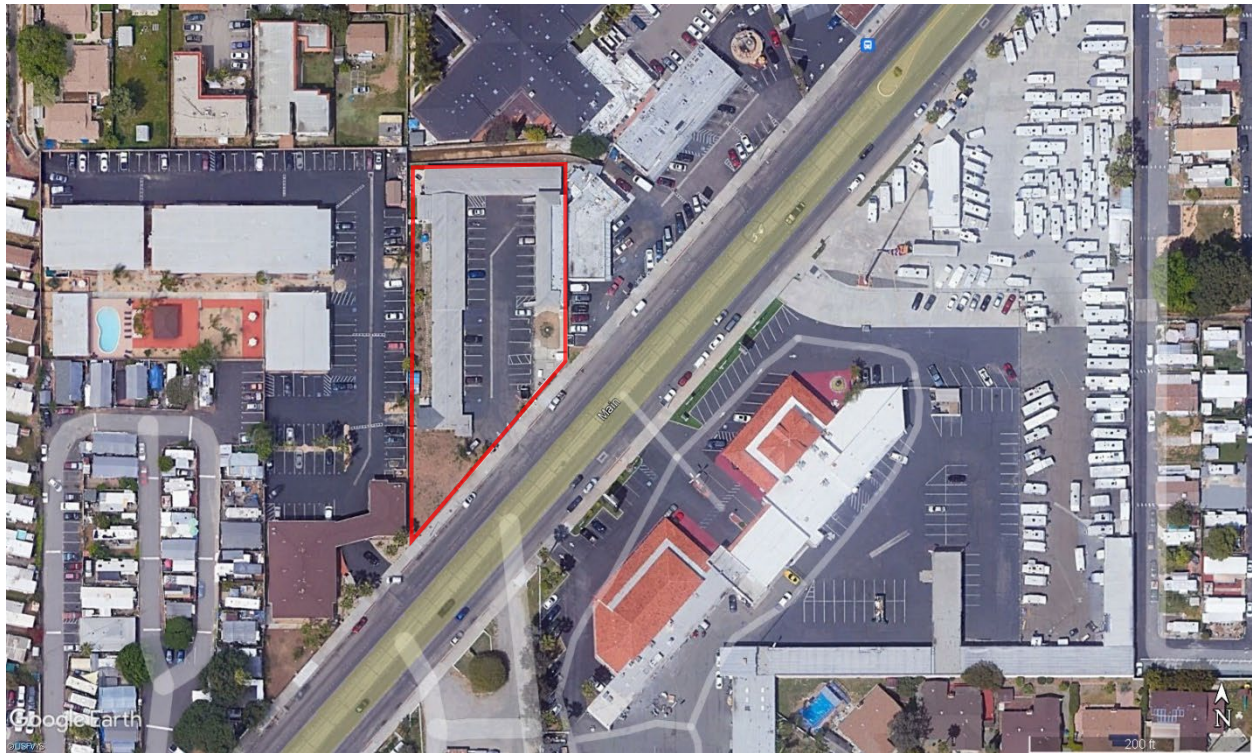


Figure 3: Existing Site Photographs (Exterior)

Motel Parking Looking North



Front of Motel Entrance Facing Northwest



Front Yard & Front of Motel Entrance Facing West



Front of Motel Check-In Facing Southwest



Motel Rooms Looking East



East Side of Front of Motel Looking Northwest



Figure 4: Existing Site Photographs (Interior)

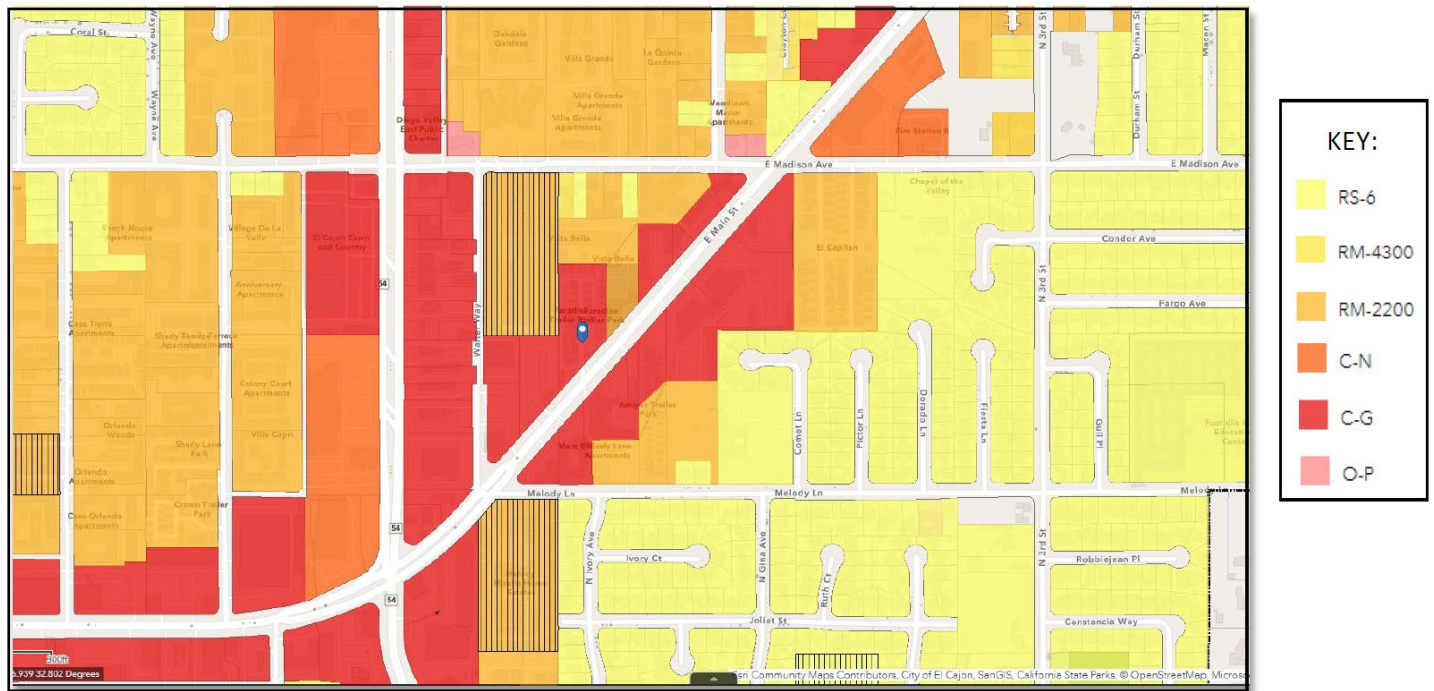
Layout 1:



Layout 2:



Figure 4; Zoning Map



Interior Improvements, as needed:

- Paint and flooring maintenance
- Drywall repair
- Replacement or repair of room furniture, appliances, linens and decorations, as warranted
- Updates to bathroom fixtures and countertops
- Replacement of ineffective A/C units
- Repair or replacement of appliances and laundry equipment
- Continued pest control treatments
- Installation of energy efficient lighting

Site Operations and Maintenance

The proposed Project will implement operational procedures to be consistent with motels. An Operations and Maintenance Plan has been prepared and is included in the project application materials. Topics addressed in the O&M plan include Property Information, General Policy and Procedures, Safety and Security Measures, and Site Maintenance.

Landscaping

There is approximately 9,500 sf of landscape space on the property. There are two primary, accessible landscape areas, one to the south of the lobby (southwest corner of the lot) and one south of the two-story building (southeast corner of the lot). The owner/operator will upgrade site landscaping in compliance with city standards. Landscaping improvements will include new trees, shrubs, and mulch, as well as decorative rocks, as appropriate. Landscaping will be designed and installed to deter loitering and trespassing.

Fencing

The owner/operator intends to install approximately 230 linear feet of 6-foot, black tubular steel fencing along the property frontage. The fence will be installed in coordination with the city and in compliance with city standards. The fence is intended to further prevent loitering and trespassing on the front landscape area.

JUSTIFICATION FOR APPROVAL

Pursuant to El Cajon Municipal Code Section 17.50.060, the following findings must be made prior to approval of a Conditional Use Permit:

- a) The proposed use is consistent with applicable goals, policies, and programs of the general plan, and with any applicable specific plan.

The project site is designated and zoned General Commercial. The General Commercial (C-G) zone is intended to provide a full range of general commercial uses ranging from offices to retail to automotive services to tourist facilities. Motels are permitted in the CG zone with approval of a Conditional Use Permit.

- b) The proposed site plan and building design are consistent with all applicable use and development standards.

Approval of the project would allow the existing 35-room motel with manager's unit to continue to operate as a 35-room motel with manager's unit. No revisions or expansions of the building are proposed. Site improvements, such as repair and maintenance tasks and the installation of new fencing, would be consistent and compliant with applicable standards.

- c) The proposed use will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.

Approval of the project would allow the existing 35-room motel with manager's unit to continue to operate as a 35-room motel with manager's unit. The site has operated as a motel for at least 50 years, with a permitted addition built in the late 1980s. Surrounding land uses include Cottonwood Canyon Healthcare Center to the north; Main Side Center, a commercial retail center, to the east; a Hyundai car dealership, Caliber Collision vehicle repair shop, and Juniper Trailer Court (mobile home park) to the south across E. Main Street; Vista Bella apartment homes abutting the property to the west; and a mix of single-family and multi-family homes to the northwest. Approving the continued operation of the existing motel through a Conditional Use Permit would be compatible with existing and planned land uses in the vicinity of the site.

- d) The proposed use and project design will not be detrimental to the public health, safety, and general welfare, including but not limited to, matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.

Approval of the project would allow the existing 35-room motel with manager's unit to continue to operate as a 35-room motel with manager's unit. No revisions or expansions of the building are proposed which would result in detrimental impacts to public health, safety, and general welfare, including but not limited to, matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic. The proposed Project will implement operational procedures to be consistent with motels. An Operations and Maintenance Plan has been prepared and is included in the project application materials. Topics addressed in the O&M plan include Property Information, General Policy and Procedures, Safety and Security Measures, and Site Maintenance.

- e) The proposed use is in the best interest of public convenience and necessity.

Approval of the project would allow the existing 35-room motel with manager's unit to continue to operate as a 35-room motel with manager's unit. The site has operated as a motel for at least 50 years, with a permitted addition built in the late 1980s. The proposed Project will implement operational procedures to be consistent with motels. An Operations and Maintenance Plan has been prepared and is included in the project application materials. Topics addressed in the O&M plan include Property Information, General Policy and Procedures, Safety and Security Measures, and Site Maintenance. Furthermore, no revisions or expansions of the motel are proposed which would result in detrimental impacts to public health, safety, and general welfare, and all site improvements would be consistent with city development standards. Continued use of the site as a motel is in the best interest of public convenience and necessity.

EL CAJON INN & SUITES



Operations & Management Plan

Business License Number: 024727

Dated: May 2023

Address: 1368 E. Main St. El Cajon, CA 92021

Telephone: 619-444-8147

Email: nilesh@stoneviewproperties.com

Property Information:

Property Name: El Cajon Inn & Suites

Property Address: 1368 E. Main St. El Cajon, CA 92021

Current Site Manager: Sunny Patel

Front Desk Number: (619) 444-8147

Number of Units: 35 rooms + manager's unit (209 sf to 387 sf)

Parking Spaces: 36 parking spaces

Current Business License Number: 024707

Insurance: State Farm

Acceptable Forms of Payment: Cash (may require additional deposit), Check, Credit Cards, Vouchers through EQUUS or PCG

Current Number of Employees: 3

General Policies and Procedures:

Acceptance of Cash: Guests paying with cash may be subject to an additional deposit and shall be notified of this policy upon check-in.

Cable TV & Internet: The property is contracted with Cox Business for cable and internet services and those services are available to all guests.

Check-In Registration Procedures: Guests shall be registered pursuant to [El Cajon Municipal Code Chapter 9.25](#), and during the check-in process, the manager shall also:

- Confirm the registering guest is 18 years or older
- Follow a Check-In Process Checklist to ensure all information is properly entered into the management software system and all required documents are prepared
- Thoroughly explain the Guest Rights and Responsibilities with the guest(s), as well as any questions the resident might have prior to check-in.
- Complete the parking permit information and issue a parking permit
- Provide a room key to the guest(s)

Check Out Procedures: During the check-out process, the manager shall:

- Follow the Check-Out Process Checklist, collect the issued room key, and ensure that a copy of the stay receipt is provided to guest(s) upon request
- Document the confirmed check-out in the management software system
- Housekeeping staff shall follow the Room Turnover Process Checklist to ensure all steps are followed between time of check-out and time of new guest check-in.

Keys and Unit Lock-out: Guests are provided with room key(s) upon arrival. Guests are responsible for notifying the front desk if they lose their key(s) or their key(s) does not work. Keys and locks are changed regularly.

Lost/Stolen Articles: The property shall not be held responsible for any lost or stolen articles. Guests are responsible to ensure that their vehicle and unit door is locked as appropriate and upon departure.

Manager Responsibility: The primary responsibility of the manager is to utilize operational training, motivation, and example to ensure that the highest level of service is afforded to each guest. The manager shall also be responsible for ensuring that all required employees complete training for human trafficking prevention. The manager administers the day-to-day operations of the property by overseeing the safety programs, marketing plans, property maintenance and security. The manager is responsible for representing the property's service commitment to guests. They handle all check in/check out procedures, guest processing, telephone calls, and maintain ongoing communication with the maintenance and housekeeping staff.

Occupancy: Each room shall accommodate guests according to room configuration and subject to management approval.

Parking: Parking permits shall be issued to motel guests upon check in and shall be displayed on the dashboard of the vehicle that is registered to the guest and referenced in the Guest Register. There shall be lobby signs and language in the Guest Register warning guests that vehicles that do not display a parking permit shall be towed away at the vehicle owner's expense. A vehicle shall be subject to towing and/or fined if the parking permit is not displayed or it is:

- parked backwards
- parked in a "no parking" area
- blocking an entrance or fire line
- blocking the entrance to the trash enclosure
- deemed to be not in working condition
- parked in the ADA accessible spot without proper signage
- it has expired tags

Quiet Hours: Guests are required to keep the noise level to a minimum between the hours of 10 PM and 8 AM daily. Guests may contact the site management for any disturbance matters.

Service Turnover: Housekeeping services shall comply with State and local laws and regulations. Trash shall be taken out daily and between visitor stays. Bedding and towels shall be replaced with fresh linens between visitor stays and upon request.

Smoking: In accordance with El Cajon Municipal Code Section 8.32.025.D.2.b, smoking can be permitted in up to 20 percent of guest rooms in any hotel or motel, if the hotel or motel permanently designates at least 80 percent of its guest rooms as nonsmoking rooms, appropriately signs nonsmoking rooms, and permanently removes ashtrays and matches from them. Smoking rooms shall be segregated from nonsmoking rooms on separate floors, wings, or portions of either; smoking and nonsmoking rooms shall not be interspersed. The motel operator may choose as any time to implement a 100 percent smoke free establishment. Guests shall be notified of the motel smoking policy upon check-in and signs shall be visibly posted around the property and in the rooms.

Solicit-Free Property: The property prohibits soliciting, door-to-door selling, or asking of money for any reason. Guests shall be notified of the motel solicit-free property policy upon check-in and signs shall be visibly posted around the property and in the rooms.

Unregistered Guests: Unregistered guests are not allowed on the premises.

Vouchers: As of May 2023, vouchers are accepted through two homeless housing voucher distributors: EQUUS and Public Consulting Group (PCG). Voucher information, along with recipient details, is emailed to the operator in advance of check in. The guest(s) then can be registered in accordance with the Check In Registration Procedures. For EQUUS, the operator submits an invoice for reimbursement every 1-2 months and the bill is paid either through direct deposit or check. For PCG, payment is automatically

deposited once a guest has been checked in. Acceptance of vouchers is subject to change at the discretion of the owner/operator, in accordance with State and local regulations.

Safety and Security Measures

Accident/Injury: The property shall not be responsible for accidents or injury to guests.

Additional Lighting: High intensity lighting is installed throughout the exterior of the building and positioned at all security camera locations. Exterior security lighting shall be maintained in good, working order at all times.

Business Ending Slavery and Trafficking (BEST) Certification: The owner/operator and all employees shall be certified in the 'Inhospitable to Human Trafficking' training course offered by the Business Ending Slavery and Trafficking (BEST) organization. Employees will be provided training pursuant to CA SB-970 through this course. Employees must be trained within 30 days of hire. The certification will be renewed no less than every 2 years. Link: <https://www.best-training.org/hotel-courses/>

Community Resources List (current as of May 2023): A list of community resources shall be kept in each room which provides a list of available resources and outreach programs and contact information such as phone numbers, websites, or email addresses. The list shall be provided in English and Spanish and shall be easily and readily accessible and visible upon entry into guest rooms. The list shall include, but not be limited to, the following organizations and shall include phone numbers, websites, and addresses as available. The list shall be reviewed and updated as needed, but no less than annually, to ensure up-to-date information.

- | | |
|--|---|
| ▪ El Cajon Police Non-Emergency Line | Call: 619-579-3311 |
| ▪ Crime Stoppers | Call: 888-580-8477
Website: sdcrimestoppers.org |
| ▪ San Diego County Help Line | Call: 2-1-1 or 858-300-1211
Website: 211sandiego.org |
| ▪ San Diego Access & Crisis Line | Call: 1-888-724-7240
Website: www.optumsandiego.com |
| ▪ East County Transitional Living Center | Call: 619-442-0457
Website: ectl.org
Address: 1527 East Main Street |
| ▪ Home Start, Inc | Call: 619-430-0032
Website: home-start.org
Address: 131 Avocado Avenue |
| ▪ Crisis House | Call: 619-444-1194
Website: crisishouse.com |
| ▪ Mental Health/Substance Abuse Hotline | Call: 9-8-8 |
| ▪ Naloxone East Region Pick Up Location | Call: 619-401-3995
Address: 367 North Magnolia Avenue |

- Center for Social Advocacy - Hate Crimes and Human Trafficking Health Center
Call: 619-444-5700 or 7-1-1 if deaf, hard of hearing, or require telephone relay services
Website: c4sa.org
Address: 327 Van Houten Avenue
- National Human Trafficking Hotline
Call: 1-888-373-7888 or 7-1-1 if deaf, hard of hearing, or require telephone relay services
Text: 'BEFREE' or 'HELP' to 233733
Website: humantraffickinghotline.org

Daytime Security Patrol: Daytime security shall be provided by the site manager and/or a part-time security guard. The manager and/or guard shall regularly walk the property and provide foot patrol of the entire premises including common areas and the parking lot several times per day to ensure there are no adverse issues (i.e., drugs, prostitution, human trafficking, other illegal activities). When presented, the manager and/or security guard shall attempt to resolve issues directly; however, unresolved and/or recurring issues shall be promptly reported to the El Cajon Police Department. Violent or life-threatening situations shall be reported immediately.

'DO NOT RENT' List: The owner/operator shall maintain a "DO NOT RENT" list of individuals known to have been arrested for prostitution or other criminal activity, or otherwise known to cause a nuisance. A copy of the "DO NOT RENT" list shall be provided to law enforcement upon request by the El Cajon Police Department.

Guest Register: The site shall maintain a Guest Register of all motel guests that rent a room on the premises, at all times. A copy of the Guest Register can be provided to law enforcement upon request by the El Cajon Police Department. The Guest Register shall be maintained pursuant to [El Cajon Municipal Code Section 9.25](#) and shall include:

- The name of the registered guest(s), a copy of each registered guests' government issued ID, the date and time of arrival of each guest, room(s) assigned, and time of departure.
- The make, type, license number, issuing state and name of registered owner of any motor vehicle or trailer in the immediate possession of any guest.
- A warning to guests that vehicles that do not display a parking permit shall be towed away at the vehicle owner's expense.
- A warning that "NO vehicle shall be parked backwards. All vehicles that are backed in shall be subject to tow at vehicle owner's expense."
- A warning that unregistered visitors are not allowed on the premises.
- A warning to guests against drug use.
- A warning that all guests paying with cash shall be subject to pay a \$50 deposit.
- A statement that no one under the age of 18 shall be permitted to rent a room and that all guests under the age of 18 must be accompanied by a parent or guardian.
- A statement that guests must refrain from loud noise and loud music.
- In the event of a room or rooms being rented under a company name, the company shall be required to provide the names of all occupants and identify the primary occupant as responsible for the room. The primary occupant shall be required to provide a copy of their government issued ID.

Guest Rights and Responsibilities: Upon check-in, guests will be presented with a list of their Rights and Responsibilities for Hotel/Motel Stay. Failure to comply with the rule may lead to termination of stay. The rules are designed to ensure the safety and security of all hotel/motel guests. The document shall be acknowledged, agreed to, and signed by each registering guest. Violators of the Guest Rights and

Responsibilities may be asked to leave. Rights and responsibilities shall include, but not be limited to the following:

- Your stay at El Cajon Inn & Suites may not exceed 28 days – NO EXCEPTIONS.
- NO weapons allowed on the premises at any time. Failure to comply will result in termination of your stay.
- Recreational use of bikes, electric scooters, wagons, and/or skateboards is prohibited in the parking lot or common areas.
- NO storing of bags, boxes, debris, recycling materials, trash, or other items that belong to you or anyone else. Floors & walkways must be kept clear. Doors must be able to fully open. Failure to comply will result in termination of your stay.
- NO business or charging of any fees may take place in rooms or on the hotel premises, including but not limited to, selling or purchasing drugs, prostitution, sub-letting your hotel/motel room, or storing any other person's items in your hotel room.
- Unregistered people, pets, or vehicles are NOT allowed on the premises of El Cajon Inn & Suites.
- Loitering around the hotel will be reported to law enforcement immediately.
- You are required to cooperate with the housekeeping staff for regularly scheduled maid services to keep the units clean.
- There is a ZERO TOLERANCE policy for illegal drug use, any other illegal activity, or any act of aggression, violence, or use of profanity towards other guests or hotel/motel staff.
- Guests are PROHIBITED from disabling, destroying, or otherwise tampering with, in-room smoke detectors.
- Guests are financially responsible for damage and/or missing items from the hotel/motel room.
- Check-out is 11 AM. Late charges and/or full day's rent will be assessed past check-out time.
- Guests are encouraged to use credit cards, issued in their name, as a preferred form of payment.
- Any issues can and should be reported to the front desk, 24/7.
- Please help us keep our hotel/motel a safe, clean, and desirable place for everyone.

Overnight Security Patrol: Overnight patrol services shall be provided by a contracted vendor that shall provide four overnight patrol visits, seven days a week, between dusk and dawn. Patrol visits shall be randomly spaced at the discretion of the security officer, and the security officer shall monitor points of entry, report any security issues or concerns, and remove any trespassing violations. An activity report, including photographs, shall be maintained for each service, and provided to the hotel manager. Modifications to overnight security patrols shall be coordinated with the El Cajon Police Department.

Reporting Illegal & Suspicious Activities: It shall be the responsibility of the owner/operator and/or site manager to immediately report all illegal, and/or suspected illegal, activities including prostitution, narcotics, child endangerment, human trafficking, and all other criminal activity to the El Cajon Police Department. If any illegal substances or materials are found within a room during service turnover, the employee shall immediately report findings to the manager who shall report to law enforcement.

Security Cameras: A total of 18 security cameras are installed on the premises. The security cameras are installed on the exterior of the premises and inside the lobby to allow motel staff in the office to observe and monitor all points of entry onto the premises. Subject to guest privacy rights, access to security camera footage shall be made available to the El Cajon Police Department for criminal investigation purposes upon request. The site operator has the authority to work with the El Cajon Police Department directly to fulfill information requests. Security footage shall be retained for at least 15 days.

Signage: Conspicuous signs shall be posted and maintained across the premises advising motel guests and trespassers that the Property is under video surveillance and that illegal activity shall be reported to law enforcement. Additional signage shall include:

- As requested by the El Cajon Police Department, a sign shall be posted which reads: LETTER OF AGENCY ON FILE WITH THE EL CAJON POLICE DEPARTMENT. TRESPASSING, LOITERING, PROSTITUTION ACTIVITY, DRUGS AND WEAPONS, ARE PROHIBITED. SECURITY CAMERAS ARE LOCATED ON THE PROPERTY. ALL ILLEGAL ACTIVITY WILL BE REPORTED TO THE EL CAJON POLICE DEPARTMENT – 619-579-3311.
- Signage shall include a STOP HUMAN TRAFFICKING notice which shall be displayed within the motel lobby and any other common areas (i.e., laundry, hallways/stairwells, recreational space). https://oag.ca.gov/sites/all/files/agweb/pdfs/ht/HTPoster_ENG.pdf

Site Maintenance:

General Maintenance

Site management is responsible for day-to-day maintenance of the property. This may include, but not be limited to, minor room and/or exterior repairs or maintenance such as, changing light bulbs or painting, blind or curtain installation or repair, fire alarm battery replacement, minor plumbing repairs, and general clean up around the property. Complicated or major maintenance needs may be contracted to a third-party vendor. The site manager shall be responsible for bringing more complicated or major maintenance needs to the attention of the Owner/Operator in a timely manner.

Housekeeping

Housekeeping services shall comply with State and local laws and regulations. Trash shall be taken out daily and between visitor stays. Bedding and towels shall be replaced with fresh linens between visitor stays and upon request. Housekeeping staff is responsible for reporting disabled or missing smoke detectors, general damage, repair needs, or need for new linens, towels, or other room items to site management.

Landscape Maintenance

Landscape maintenance shall be administered by a third-party vendor. The vendor shall be responsible for cleaning planter areas and common landscape areas free of debris, weeds, and overgrowth. The vendor shall be responsible for repairs to the sprinkler system and shall replace or plant new materials as needed or as requested by site management as authorized by the Owner/Operator. The owner/operator will upgrade site landscaping in compliance with city standards. Landscaping improvements shall comply with city standards and shall be designed, installed, and maintained in a manner meant to deter loitering and trespassing.

Pest control

Pest control services shall be administered by a third-party vendor and shall be provided for both the exterior and interior spaces. Pest control services shall be conducted at least every other month, or as often as recommended by the vendor. Site management shall be responsible for contacting the vendor if additional pest control services are needed in between regularly scheduled service calls.

Contact List:

Safety and Security (current as of May 2023):

FOR EMERGENCY – POLICE, AMBULANCE, FIRE

DIAL 911

For Non-Emergency Police

619-579-3311

Overnight Security Patrol – Eagles Point Security

844-600-0400

National Human Trafficking Hotline

888-373-7888

California Coalition to Abolish Slavery and Trafficking

888-539-2373

Domestic Violence/Sexual Assault Hotline

1-888-385-4657

San Diego Access and Crisis Line

1-888-724-7240

San Diego County Crime Victim Assistant Program

619-531-4041

SDG&E – Electric or gas emergency

800-411-7343 (Electric)

800-611-7343 (Gas)

Maintenance:

Water Services – Helix Water District

619-466-0585

Cable/Internet Provider – Cox Business

619-269-2000

Trash Services – EDCO Disposal Corporation

619-287-7555

Electricity and Gas Services – SDG&E

800-336-7343

Management Acknowledgement

Owner/Operator and Manager acknowledges that in the event of a change in manager or management company, the new manager shall notify the city that they are aware, understand and shall enforce this plan.

Owner/Operator Name:

Owner/Operator Contact Information:

Phone:

Email:

Owner/Operator Signature:

Date Signed:

Manager Name:

Manager Contact Information:

Phone:

Email:

Manager Signature:

Date Signed:



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1368 E MAIN ST. CUP
1368 E MAIN ST.
EL CAJON, CALIFORNIA

Date: 03-28-2023
Project: 1368 E MAIN ST. CUP
File: A1.1
Revisions:

Sheet Title:
SITE PLAN

Sheet Number:
A1.1

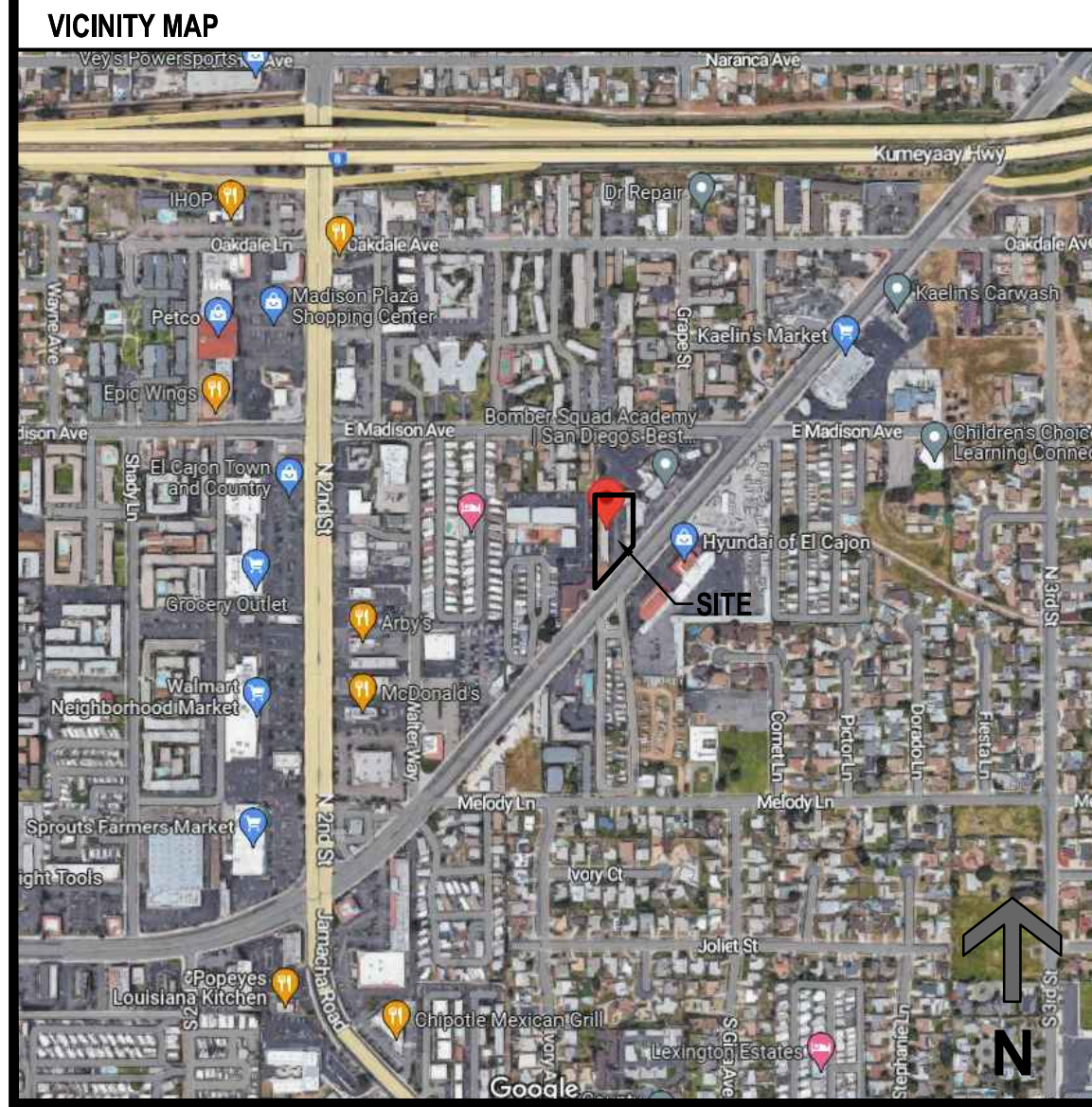
PROJECT TEAM			
OWNER:	EL CAJON MOTEL, LLC CONTACT: NILESH PATEL 14493 OLD CREEK ROAD SAN DIEGO, CA 92131 T: 858-442-2495 nilesh@stoneviewproperties.com	CIVIL:	HOWES, WEILER, LANDY - PLANNING & ENGINEERING CONTACT: SALLY SCHIFMAN 2888 LOKER AVENUE EAST, SUITE 217 CARLSBAD, CA 92010 T: 760-929-2288 sschifman@hwl-pe.com
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PROJECT DESCRIPTION
EL CAJON MOTEL, LLC IS REQUESTING THE CITY OF EL CAJON PROCESS A CONDITIONAL USE PERMIT TO ALLOW THE EXISTING 35-ROOM MOTEL PLUS MANAGER'S UNIT TO CONTINUE TO OPERATE AS A 35-ROOM MOTEL PLUS MANAGER'S UNIT. THE EL CAJON INN & SUITES PROJECT WILL INCLUDE MINOR SITE IMPROVEMENTS.

PROJECT SUMMARY	
ASSESSORS PARCEL NUMBER:	489-180-75
ADDRESS:	1368 E. MAIN ST. EL CAJON, CA
PROPOSED USE:	MOTEL
GROSS LOT AREA:	37,270 S.F. / 0.86 AC.
LANDSCAPE COVERAGE:	9,516 S.F. / 37,270 S.F. = 25.5%
ZONING:	C-G
GENERAL PLAN:	G-C
STORIES:	1 & 2
TYPE OF CONSTRUCTION:	V-B
EXISTING OCCUPANCY:	R-1
PROPOSED OCCUPANCY:	R-1
FIRE SPRINKLERS:	NO
FIRE ALARM:	YES
MAXIMUM HEIGHT:	36'
TOTAL # ROOMS:	35 + 1 MANAGER'S UNIT

EXISTING PARKING	
STANDARD STALL:	34 SP.
ADA STALL:	2 SP.
TOTAL:	36 SP.

LEGEND	
PROPERTY LINES	---
EXISTING FENCE	—o—o—o—o—
EXISTING BLOCK WALL	=====
ELECTRICAL TRANSFORMER:	T
FIRE HYDRANT:	h>d
ACCESSIBLE PARKING STALLS (9'W X 18'L) W/ WHEEL STOP. VAN-ACCESSIBLE STALLS ARE 12' WIDE.	[Symbol]



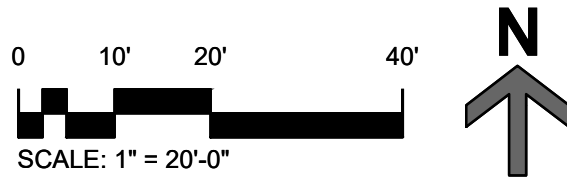
EXISTING
RESIDENTIAL

EXISTING
COMMERICAL

EXISTING
COMMERICAL

EXISTING
COMMERICAL

1 SITE PLAN



El Cajon, California Municipal Code

Title 17 ZONING

Chapter 17.212 DEEMED APPROVED LODGING ESTABLISHMENT

17.212.010 Short Title.

17.212.020 Purpose.

17.212.030 Definitions.

17.212.040 Applicability.

17.212.050 Deemed Approved Status.

17.212.060 New, modified, or expanded lodging establishments.

17.212.070 Deemed Approved Performance Standards.

17.212.080 Right of inspection.

17.212.090 Violation of Performance Standards.

17.212.100 Public hearing by planning commission.

17.212.110 Grounds for deemed approved status suspension, revocation or termination.

17.212.120 Deemed approved status revocation.

17.212.130 Appeal from suspension, modification or revocation of deemed approved status.

17.212.140 Notification to owners of lodging establishments conducting deemed approved activities.

17.212.150 Violations and Penalties.

17.212.160 Severability.

17.212.010 Short Title.

This chapter shall be known as the "Deemed Approved Lodging Establishment Ordinance." (Ord. 5083 § 2, 2019.)

17.212.020 Purpose.

The purpose and intent of this chapter is to protect and promote the public health, safety, and welfare of employees and customers of lodging establishments and the community at large by conveying deemed approved status to all existing lodging establishments and requiring adherence to performance standards intended to prevent public nuisance. The objectives of this chapter are as follows:

- A. To improve and maintain the quality of the City's transient lodging through the enforcement of minimum standards and the advancement of responsible operations of these lodging establishments;
- B. To ensure that lodging establishments adhere to public health and safety standards and that guests are provided with safe and sanitary accommodations;
- C. To ensure that each lodging establishment is operated safely in a manner that discourages nuisance and criminal activity;
- D. To provide ongoing monitoring of lodging establishment activities to ensure that the activities do not substantially change over time;
- E. To ensure that the operations of existing lodging establishments are not a source of undue public nuisance or visual blight; and
- F. To protect surrounding residential, commercial, industrial, or civic areas and minimize the negative impact of nonconforming or incompatible uses.

This chapter confers deemed approved status on the effective date of this ordinance to all existing permitted, conditionally permitted, and legal nonconforming, lodging establishments; provides standards for the continued operations of these businesses; establishes grounds for termination of deemed approved status for lodging establishments violating this chapter; and provides a hearing process to review the violations of these standards. (Ord. 5083 § 2, 2019.)

17.212.030 Definitions.

- A. **“Deemed approved activity”** means any existing permitted, conditionally permitted, or legal nonconforming, lodging establishment activity. Such activity shall be considered a deemed approved activity effective date as long as it complies with the deemed approved performance standards established in this chapter.
- B. **“Deemed approved status”** means the permitted use of land for a deemed approved activity. Deemed approved status replaces legal nonconforming status for lodging establishment activities and remains in effect as long as the business complies with the deemed approved provisions and performance standards of this chapter. Lodging establishments having permitted or conditionally permitted status shall retain such status provided, however, that these lodging establishment activities are further subject to the deemed approved performance standards to the extent that these standards are not already included in applicable conditions of approval.
- C. **“Lodging establishment” or “establishment”** means a place of business that provides overnight accommodations regardless of the length of stay. This shall include hotels, motels, bed and breakfast establishments or any other temporary lodging establishments regardless of the length of stay of any guest or tenant. This does not include single-or multi-family residences, single room occupancy hotels, institutional or group care facilities, or group quarters.
- D. **“Lodging establishment activity”** means the provision of overnight accommodations to persons in exchange for the payment of valuable consideration. (Ord. 5083 § 2, 2019.)

17.212.040 Applicability.

A. The deemed approved lodging establishment regulations shall apply to all legal nonconforming, conditionally, or otherwise permitted hotels, motels, or bed and breakfast places of business within the city. This shall apply to all hotels, motels, or businesses established as temporary lodging businesses regardless of the length of stay of any guest or tenant. This does not apply to residences where rooms are rented. This chapter applies to all lodging establishments as defined in section [17.212.030](#).

B. Whenever any regulation or law or condition of approval is more restrictive than these regulations, the more restrictive or higher standard shall control unless otherwise expressly described in this chapter. (Ord. 5083 § 2, 2019.)

17.212.050 Deemed Approved Status.

All lodging establishments that were legal nonconforming activities, conditionally or otherwise permitted immediately prior to the effective date of this chapter shall automatically become deemed approved lodging activities as of the effective date of this chapter and shall no longer be considered legal nonconforming activities. Each such deemed approved lodging activity shall retain its deemed approved status as long as it complies with the standards in section [17.212.070](#). (Ord. 5083 § 2, 2019.)

17.212.060 New, modified, or expanded lodging establishments.

Except as otherwise provided in this chapter, no person shall establish a new lodging establishment, nor shall any person modify or expand an existing lodging establishment without first obtaining or amending a conditional use permit. (Ord. 5083 § 2, 2019.)

17.212.070 Deemed Approved Performance Standards.

A. Management operations

1. A staff person, caretaker or resident manager or other responsible person shall be available in person 24 hours per day at each lodging establishment in which there are twelve (12) or more rooms.
2. A caretaker or resident manager shall be available by phone 24 hours per day at each lodging establishment in which there are eleven (11) or fewer rooms.
3. The name, phone number, and address of the responsible person shall be posted conspicuously in an area that is generally available to the public.
4. The telephone number and address for the City of El Cajon code compliance office shall be posted in a prominent location in the reception area.

B. Registration requirements

Each lodging establishment shall comply with the El Cajon Municipal Code chapter [9.25](#) Hotel, Motel and Lodging House Registration Regulations.

C. Security measures

1. Each guestroom shall be equipped with an operable dead bolt lock on the swinging entry door of the room.
2. Each connected door between two rooms that share a common wall shall be equipped with two dead bolt locks, separately operable without a key on each side of the door; or two separate doors, each with a dead bolt lock only operable without a key from the room-side of the door.
3. All windows designed to be opened shall have an operable window security or locking device.
4. Each room shall have privacy coverings such as shades, draperies, or blinds on all windows.

D. Minimum property standards

1. All common interior and exterior areas shall be maintained in a sanitary condition free of garbage and debris.
2. The property shall be maintained in accordance with El Cajon Municipal Code section [15.16.130](#) Standards of maintenance and repair.
3. Any graffiti shall be removed in accordance with El Cajon Municipal Code chapter [9.70](#).
4. All parking lots, adjacent public sidewalks, walkways, and exterior areas shall be swept or cleaned regularly and maintained free of litter and debris.
5. Exterior lighting shall be provided and maintained in working order to adequately illuminate parking lots, walkways, and areas of public access.
6. All designated landscape areas shall be maintained with properly trimmed, fertilized, and watered living plant materials free of litter or debris.
7. Directional signs shall be posted as necessary to ensure that emergency personnel can find guest rooms.
8. All containers used for the storage of trash, garbage, or recycled materials and placed on the exterior of the building shall be kept locked and maintained in a sanitary condition.

E. Maintenance and Housekeeping

The maintenance and housekeeping provisions shall apply to all lodging establishments which provide shelter, furniture, linens and housekeeping services within guest rooms and throughout the property. These provisions shall not apply to permanent residential facilities wherein the owner is responsible only for shelter but does not provide furniture, linens or housekeeping services.

1. Each guest room shall be maintained by regularly occurring maintenance and routine cleaning to provide a clean and sanitary space free from garbage, rodents, or vermin.
2. Housekeeping and cleaning services shall be provided at a minimum weekly and in between guests. Where housekeeping is provided on a weekly basis, guests must have access to additional clean linens and a dumpster or bin for emptying room trash cans on a daily basis or as needed.
3. Rooms with private bathrooms shall have a functioning toilet, sink, and shower or bathtub.
4. Hot and cold running water shall be provided for all plumbing facilities.

5. Room furnishings including mattresses and furniture shall be free of stains, holes, rips, or odors in excess of normal wear and tear, and shall further be free and clear of bed bugs, fleas, lice, and other similar vermin.
6. Room linens, drapes, or blinds shall be free of stains, holes, rips or odors in excess of normal wear and tear.
7. Bathroom fixtures shall be maintained without significant cracks, chips, or stains. Bathroom facilities must be maintained in working order.
8. Carpeting or flooring, walls, and ceilings shall be free of stains, holes, cracks, chips, or odors in excess of normal wear and tear, and shall further be free and clear of bed bugs, fleas, lice, and other similar vermin.

F. Nuisance activity

The deemed approved lodging establishment activities shall not result in nuisance activities on the property or contribute to nuisance activities in close proximity to the property. Nuisance activities may include, but are not limited to, disturbance of the peace, illegal drug activity, prostitution, drinking in public, harassment of passersby, gambling, trafficking in stolen goods, public urination, theft, assault, battery, vandalism, illegal parking, excessive noise, traffic violations, curfew violations, lewd conduct, or excessive police detentions or arrests.

G. Transient Occupancy Tax

In accordance with Chapter 3.44 of Title 3 of the El Cajon Municipal Code, each establishment must maintain records and remit transient occupancy tax to the city following the close of each calendar quarter.

H. Compliance with laws

Each lodging establishment shall comply with all provisions of local, state or federal laws, regulations or orders, including without limitation, the Uniform Housing Code, Building Code, Fire Code, and all other provisions of the Municipal Code. (Ord. 5083 § 2, 2019.)

17.212.080 Right of inspection.

A. The City shall conduct regular inspections of all businesses subject to the regulations specified in this chapter. The City Manager or designee is authorized to allow the acceptance of satisfactory ratings conferred by recognized, independent agencies in lieu of a City inspection, provided that the independent inspection is based upon performance and facility standards equal to or in excess of the standards set forth in this chapter.

B. The officials responsible for enforcement of the El Cajon Municipal Code or other ordinances of the city or their duly authorized representatives may enter on any site or into any structure open to the public for the purpose of investigation provided they shall do so in a reasonable manner whenever they have cause to suspect a violation of any provision of this ordinance or whenever necessary to the investigation of violations to the conditions of approval, operational standards, or deemed approved performance standards prescribed in these regulations.

C. Upon a showing of probable cause by the officials responsible for enforcement of the El Cajon Municipal Code, the officials responsible for enforcement shall request of the owner or agent and the occupant, permission to inspect the rooms and facilities, and/or the production of guest registers and other records necessary to determine compliance with all applicable regulations, including, but not limited to, building, fire, health, occupancy, and zoning codes, and to verify collection and payment to the City of all taxes owed.

D. If an owner, occupant or agent refuses permission to enter, inspect or investigate, premises, including guest registers, which are not open to the public, the officials or their representatives may seek an inspection warrant under the provisions of California [Code of Civil Procedure](#) section 1822.50 et seq. All such inspections shall be conducted in compliance with the Fourth Amendment to the United States Constitution. (Ord. 5083 § 2, 2019.)

17.212.090 Violation of Performance Standards.

As a result of an inspection or upon the city's receipt of a complaint from the public, police department, city official or any other interested person that a deemed approved lodging establishment activity is in violation of the operational standards set forth in this chapter, the following procedure shall be followed:

A. An enforcement officer shall assess the nature of the complaint and its validity by conducting an on-site observation and inspection of the premises to assess the activity's compliance with operational standards and/or conditions of approval.

B. If the enforcement officer determines that the activity is in violation of the operational standards, the enforcement officer shall give written notice of the violation to the owner and/or operator of the establishment and seek to remedy the violation under the city's administrative citation procedures contained in Chapter [1.14](#) of this code. The first notice of violation shall be given in accordance with section [1.14.040](#) of this code. If, however, the enforcement officer, in his or her sole discretion, determines that the violation is not capable of correction, presents a serious threat to public health or safety, or otherwise warrants expedited action, he or she may, in lieu of following the administrative citation procedure, refer the matter directly to the planning commission for a hearing at which the establishment's deemed approved status may be suspended, modified or revoked.

C. Any administrative citation issued under this section shall be issued, processed, and enforced in compliance with all of the provisions of Chapter [1.14](#) of this code, unless otherwise expressly provided by this chapter. If the owner or operator receiving an administrative citation contests the citation and a hearing is held pursuant to Chapter [1.14](#), the hearing officer may, in addition to exercising all powers designated in Chapter [1.14](#), make a recommendation to the planning commission to suspend, modify or revoke the establishment's deemed approved status if in the judgment of the hearing officer, based upon information then before him or her, such action is necessary to ensure compliance with this chapter.

D. If a hearing before the planning commission is conducted on a potential violation in the manner prescribed in this chapter, it shall determine whether the activity is in compliance with the operational standards. Based on this determination, the planning commission may suspend, modify or revoke the activity's deemed approved status. In reaching a determination as to whether a use has violated the operational standards, or as to the appropriateness of suspending, modifying, or revoking of a conditional use permit, or the imposition of additional or amended conditions on a use, the planning commission may consider the following:

1. The length of time the activity has been out of compliance with the operational standards.
2. The impact of the violation of the operational standards on the community.
3. Any information regarding efforts to remedy the violation of the operational standards.

E. "Efforts to Remedy" shall include, but are not limited to:

1. Timely calls to the police department that are placed by the owner or operator of the establishment, or by his or her employees or agents.

2. Requesting that those persons engaging in activities causing violations of the operational standards and/or conditions of approval cease those activities, unless the owner or operator of the activity, or his or her employees or agents feels that their personal safety would be threatened in making that request.
3. Making improvements to the establishment's property or operations to address performance standards.

F. If in the judgment of the planning commission, the operations of the owner or operator of the establishment constitute a nuisance, the owner or operator is unable or unwilling to abate the nuisance, and the nuisance is shown to be a threat to the public health and safety of the surrounding neighborhood, the planning commission may suspend, modify, or revoke the activity's deemed approved status. All determinations, decisions, and conditions made or imposed regarding the use of an activity shall run with the land.

G. The decision of the planning commission shall be final and conclusive, unless appealed in writing to the city council within 10 days of planning commission action.

H. At any time during a violation proceeding or after revocation of a lodging establishment's deemed approved status, the property owner or an applicant with the property owner's consent may apply for a conditional use permit. (Ord. 5083 § 2, 2019.)

17.212.100 Public hearing by planning commission.

The planning commission may conduct public hearings and make determinations on whether lodging establishments are in compliance with conditions of approval or deemed approved performance standards prescribed in these regulations, and may modify, suspend, or revoke an establishment's conditional use permit or deemed approved status in order to obtain the compliance of the particular establishment with the provisions of this chapter. This section is not intended to restrict the powers and duties otherwise pertaining to other city officers or bodies in the field of monitoring and ensuring the harmony of lodging establishment activities in the city. The planning commission shall have the powers and duties assigned to them by the El Cajon Municipal Code and by this chapter. (Ord. 5083 § 2, 2019.)

17.212.110 Grounds for deemed approved status suspension, revocation or termination.

A lodging establishment's deemed approved status may be suspended, modified or revoked by the planning commission after holding a public hearing in the manner prescribed in Chapter 17.25 for failure to comply with the performance standards set forth in section 17.212.070. Notice of such hearing by the planning commission at which it will consider the modification, suspension or revocation of an establishment's deemed approved status shall be in writing and state the grounds therefore. Notice shall be mailed by first-class mail and certified mail return receipt requested at least 10 days before the date of the hearing. (Ord. 5083 § 2, 2019.)

17.212.120 Deemed approved status revocation.

Upon revocation of a lodging establishment's deemed approved status, the planning commission may choose to impose additional conditions of approval on the use of the establishment, or may proceed to revoke the conditional use permit in accordance with section 17.35.030. Upon revocation of a lodging establishment's deemed approved status, the lodging establishment activity must cease any and all lodging establishment activity until the property owner has applied for and received approval of a conditional use permit. (Ord. 5083 § 2, 2019.)

17.212.130 Appeal from suspension, modification or revocation of deemed approved status.

Any applicant or other person aggrieved by a decision of the planning commission to suspend, modify or revoke a lodging establishment's deemed approved status or conditional use permit pursuant to this chapter may appeal the decision to the city council pursuant to Chapter [17.30](#) of this code. (Ord. 5083 § 2, 2019.)

17.212.140 Notification to owners of lodging establishments conducting deemed approved activities.

The City shall notify the owner and/or operator of a lodging establishment of the activity's deemed approved status. The notice shall be sent by first-class mail and certified mail return receipt requested to the address shown on the city business license and any property owner at the address shown on the county assessor's property tax assessment records and shall include a copy of the performance standards in this chapter. This notice shall also provide that the activity is required to comply with all performance standards, and that the activity is required to comply with all other aspects of the deemed approved regulations. Should the notice be returned, then the notice shall be sent via regular mail. Failure of any person to receive notice given pursuant to this chapter shall not affect the deemed approved status of the activity. (Ord. 5083 § 2, 2019.)

17.212.150 Violations and Penalties.

- A. Any person violating any of the provisions of this chapter or who causes or permits another person to violate any provision of this chapter may be charged with either an infraction or a misdemeanor, and shall be subject to the provisions of the general penalty clause as set forth in section [1.24.010](#) of this code.
- B. In addition to the penalties provided in this section, any use or condition caused or permitted to exist in violation of any of the provisions of these regulations shall be and is declared to be a public nuisance and may be abated as such by the City.
- C. Nothing in this chapter shall be construed to prevent the city of El Cajon from pursuing any and all other legal remedies that may be available, including, but not limited to, civil actions filed by the city attorney seeking any and all appropriate relief such as civil injunctions and penalties. (Ord. 5083 § 2, 2019.)

17.212.160 Severability.

If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid, such decision shall not affect the validity of the remaining portions of this ordinance. The city council hereby declares that it would have adopted the ordinance and each section, subsection, sentence, clause or phrase thereof, irrespective of the fact that any one or more of the sections, subsections, sentences, clauses, or phrases may be declared invalid. (Ord. 5083 § 2, 2019.)

Contact:

City Clerk: 619-441-1764

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City of El Cajon

Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	3
Project Name:	Madar Variance
Request:	Variance
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number(s):	Variance (VAR) No. 2023-0001
Location:	829 Wakefield Court
Applicant:	Creative Design and Build, Guy Madar, guycreativednb@gmail.com ; 310-282-7276
Project Planner:	Mike Viglione, mviglione@elcajon.gov , 619-441-1773
City Council Hearing Required?	No
Recommended Actions:	1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order approving the CEQA determination, and VAR No. 2023-0001 subject to conditions.

PROJECT DESCRIPTION

The project proposes a reduced front yard setback from 20 feet to 14 feet for a through-lot addressed as 829 Wakefield Court. The variance is requested to accommodate a proposed Accessory Dwelling Unit ("ADU") adjacent to Garfield Avenue due to steep slopes at the site. A reduction of the front yard setback from Garfield Avenue from 20 feet to 15 feet is recommended subject to conditions.

BACKGROUND

General Plan:	LR (Low Density Residential)
Specific Plan:	N/A
Zone:	RS-6 (Residential, single-family, 6,000 s.f.)
Other City Plan(s):	N/A
Regional and State Plan(s):	N/A
Notable State Law(s):	N/A

Project Site & Constraints

The subject property is a wedge shaped, residential through lot in the Millbury Terrace subdivision with frontages on both Wakefield Court and Garfield Avenue. The property is approximately 15,468 square feet in area and is developed with a 2,400 square foot

single family dwelling on a flat upper building pad along Wakefield Court. This pad extends to the northeast approximately 100 feet to a retaining wall, after which the property slopes down nearly 30 feet in vertical elevation to a second front property line along Garfield Avenue. The unimproved and partially landscaped hillside exceeds a slope of 45% (1:1) at its steepest though the grade partially plateaus as it approaches Garfield Avenue. The lot retains the legal right of access to Garfield Avenue in accordance with Map No. 3313, Millbury Terrace, though a five (5) foot easement to the City of El Cajon for public street purposes was granted and would become right of way upon construction of street improvements. Please note that a through lot is a lot having frontage on two parallel or approximately parallel streets, and is subject to the exterior front setback of the governing zone.

Surrounding Context

Properties surrounding the subject site are developed and zoned as follows:

Direction	Zones	Land Uses
North	RS-6	Single-family residential
South	RS-6	Single-family residential
East	RS-9	Single-family residential
West	RS-6	Single-family residential

General Plan

The land use designation of the subject property is Low Density Residential ("LR") according to the General Plan Land Use Map. The LR designation is intended to accommodate up to 10 dwelling units per acre.

Municipal Code/Zoning Code

The property is within the RS-6 (Residential, single-family, 6,000 s.f.) zone, which is consistent the LR General Plan designation. The property is subject to the RS-6 development standards and land use permissions in Chapter 17.140 of the El Cajon Municipal Code ("ECMC"). Detached single-family dwellings and accessory dwelling units are permitted uses in the RS-6 zone.

DISCUSSION

ADU Development Standards

This variance application is requested in conjunction with a building permit that proposes a 1,182 square foot ADU on the lower portion of the property near Garfield Avenue. In the case of a through lot that has frontage on two approximately parallel streets, as is the case here, there are two front property lines with front yard setbacks as opposed to a rear yard setback. A proposal for an ADU on an RS-6 zone through lot would be required to observe the following standards.

Standard	Requirement	Proposed	Complies?
Front Yard Setback	20 feet (ft.) Min.	14 ft.	No
Interior Side Setback	16 ft. height with 4 ft. Min. 20 ft. height with 5 ft. Min.	±7.25 ft. at 4 ft. ±18.5 ft. at 5 ft.	Yes
Separation	6 ft.	±45 ft.	Yes
Height	20 ft. Max.	±18.5 ft.	Yes
Lot Coverage	40% Max. (6,185 square feet)	±29% (4,472 square feet)	Yes
Size	1,200 square feet	1,182 square feet	Yes
Parking	None	2 Off-street, uncovered	Yes

As designed, the proposed ADU does not comply with the RS-6 zone front yard setback. The Zoning Code does not include a mechanism by which staff can grant relief from a development standard in the RS-6 zone and consequently staff cannot approve the building permit application. The proposed plans otherwise demonstrate compliance with applicable development standards for the ADU as shown above.

It is important to note however that the plans do not adequately demonstrate that the ADU complies with single family residential design and accessory dwelling unit requirements in ECMC sections 17.140.170 and 17.140.180 respectively. For example, additional detail is required in the elevation drawings to show that siding and roofing materials are consistent with those of the existing residence as required by residential design standards. Similarly, the covered porch attached to the ADU must be dimensioned to determine if it exceeds the 10% ADU floor area size limit. Plans also need to be revised to include a minimum 18 inch deep and four (4) foot wide relief or projection in the walls of the east and west building faces that exceed 30 feet in length. Such corrections are typical during building permit review.

Variance

The Zoning Code provides a procedure in ECMC chapter 17.80, called a variance, through which the Planning Commission may allow flexibility in the application of development standards in instances where special circumstances deprive a property of a development right enjoyed by other properties in the same vicinity and zoning district. Examples of such special circumstances include lot size and shape, topographic limitations, property location, and property surroundings.

The variance requests a reduction in the front yard setback to 14 feet from Garfield Avenue to accommodate the proposed ADU pursuant to these provisions. No other modifications of development standards are requested with the variance and consequently any accompanying building permit application would need to comply with all other applicable Zoning Code requirements.

The steep slope on the eastern half of the lot is a topographic feature consistent with those described in ECMC chapter 17.80 and, in combination with the dual front yard

setbacks required given the lot's location between two streets, limit available building area for detached structures like the proposed accessory dwelling unit. The through lot configuration is atypical and, in fact, precluded by the Subdivision Ordinance unless access rights are specifically waived to an adjacent street. Significant grading and structural work or construction with limited separations and setbacks on the existing Wakefield Court building pad would be required to overcome these limitations.

Pursuant to the requirements for variance eligibility in ECMC chapter 17.80, there are several examples of properties within the same zone and in close proximity in Fletcher Hills which rely upon reduced front yard setbacks like the one requested. Examples include:

- *1058 Garfield Avenue - Variance No. 39* – Located directly across Garfield Avenue from 829 Wakefield Court, in the RS-9 zone, this property relies upon a variance for a reduced front yard setback of 15 feet. As documented in the meeting minutes, the Planning Commission motion to approve was warranted because the variance "...does not increase the use of the property and that the topography makes it necessary for the reduction of the front yard setback."
- *731 – 837 Haverhill Road – Variance No. 42* – The Planning Commission found that the properties on the east side of Haverhill Road were subject to "...extraordinary circumstances... due to topography..." These properties are in the RS-9 zone just beyond Garfield Avenue and are similarly situated at the bottom of a slope that descends from Sharon Way. The Planning Commission ultimately granted a 15 foot front yard setback finding that the variance was "...necessary to permit the use of lots... for uses normally permitted in the R-1 zone."
- *2700 Katherine – Variance No. 105* – This RS-9 property to the northwest of Wakefield Court benefits from a variance reducing the front yard setback to 13 feet from the Katherine Street right of way. In Resolution No. 1299 approving the variance, the Planning Commission noted that the variance was necessary to allow for a residence similar to that of the adjacent property and found that the reduction was "necessary to permit a reasonable development of the property which has a steep slope and a small building site."

These pertinent cases confirm that steep slopes were historically recognized as special circumstances warranting flexibility in development standards for permitted uses. The requested reduction of the front yard setback to 14 feet exceeds the front yard setbacks observed by the two most proximate examples on Garfield Avenue and Haverhill Road. It is worthwhile to note that a side entry garage in the RS-6 zone may be constructed with a 15 foot front setback pursuant to ECMC section 17.140.090. This same structure could ultimately be converted to an accessory dwelling unit by building permit without further regulation from the City pursuant to California statute. Staff therefore recommends a variance granting a reduced front yard setback of 15 feet from Garfield

Avenue so as to be consistent with the rights and conditions of adjacent properties and produce appropriate residential development for the site.

FINDINGS

Pursuant to ECMC section 17.80.060, the Planning Commission shall make the following findings in order to approve a variance:

- A. *Because of special circumstances or conditions applicable to the property, including size, shape, topography, location or surroundings, the strict application of the Zoning Code deprives such property of a privilege enjoyed by other properties in the same vicinity and zone;*

Special circumstances are present on the subject lot in that it is a steeply sloped through lot with frontage and access on both Wakefield Court and Garfield Avenue, a configuration now generally precluded under the City of El Cajon Subdivision Ordinance. The strict application of the RS-6 zone 20 foot front yard setbacks in combination with the steep slope restrict the feasible building area on the property and deprive it of privileges enjoyed by others in the same vicinity and zone. For example, 1076 Garfield Avenue, which is directly across Garfield Avenue from the subject property, and all of the properties on the east side of Haverhill Road, were also granted reduced setbacks of 15 feet. As single family zoned properties in residential use, any of the aforementioned examples could establish accessory dwelling units that rely upon a 15 foot front yard setback. The strict application of the 20 foot RS-6 front yard setback along the Garfield Avenue frontage would therefore deprive the subject property of privileges enjoyed by other properties in the same vicinity and zone.

- B. *The approval of such variance will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the same vicinity and zone in which such property is situated;*

Approval of the variance is consistent with the development standard already applied throughout the community to similarly situated properties within the same zone and vicinity. Moreover, there are examples among these properties where topographical conditions such as steep slopes and the considerable grading required to otherwise develop such parcels were recognized as special conditions warranting a reduction in front yard setbacks, including 2700 Katherine Street and the east side of Haverhill Road.

- C. *The approval of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and zone in which the property is located; and*

The proposed accessory dwelling unit is a permitted residential use and is similar in scale and mass to those existing single-family homes on the south side of Garfield Avenue. The proposed accessory dwelling unit further preserves the single-family aesthetic of the neighborhood and continues the historic development pattern of the

Millbury Terrace Subdivision through lots by providing for a unit along both Wakefield Court and Garfield Avenue. The approval is therefore consistent with existing conditions and is not injurious.

D. The approval of such variance will be consistent with the goals, policies, and objectives of the general plan.

The 2021-2029 Housing Element recognizes accessory dwelling units as a quality affordable housing opportunity for lower income households and, in Policy 5-3, states that "...building permit and development plan processing for residential construction" be facilitated. General Plan Goal 5 additionally encourages a variety of housing types to meet the needs of various age and income groups. The proposed accessory dwelling unit also limits grading impacts to the existing hillside and preserves the single-family appearance of the existing neighborhood through ample separation of residential units consistent with General Plan Policies 5-6.4 and 5-6.5 which prioritize neighborhood development that respects natural boundaries and topography.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed project is exempt from the provisions of the California Environmental Quality Act ("CEQA") according to section 15303 of the CEQA Guidelines. The identified section provides an exemption for the construction and location of limited numbers of new, small facilities or structures including, specifically, a "single-family residence, or a second dwelling unit in a residential zone." Consistent with the example, the variance application requests a reduction of a front yard setback in a residential zone to accommodate an Accessory Dwelling Unit, the second dwelling unit to be established on the property. Therefore, section 15303 is an appropriate exemption for the proposed project.

PUBLIC NOTICE & INPUT

A notice of public hearing was mailed on May 4, 2023, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website under "Public Hearings/Public Notices." The notice was also mailed to the two public libraries in the City of El Cajon, located at 201 East Douglas Avenue and 576 Garfield Avenue. No public comments have been received for this permit application.

RECOMMENDATION

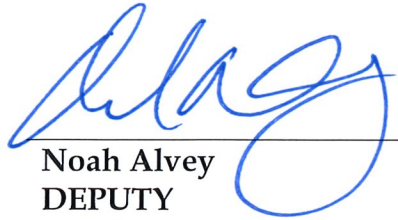
Staff recommends that the Planning Commission approve the variance to reduce the front yard setback from Garfield Avenue to 15 feet subject to conditions.

**PREPARED
BY:**



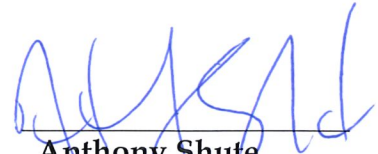
**Michael
Viglione
SENIOR
PLANNER**

REVIEWED BY:



**Noah Alvey
DEPUTY
DIRECTOR OF
COMMUNITY
DEVELOPMENT**

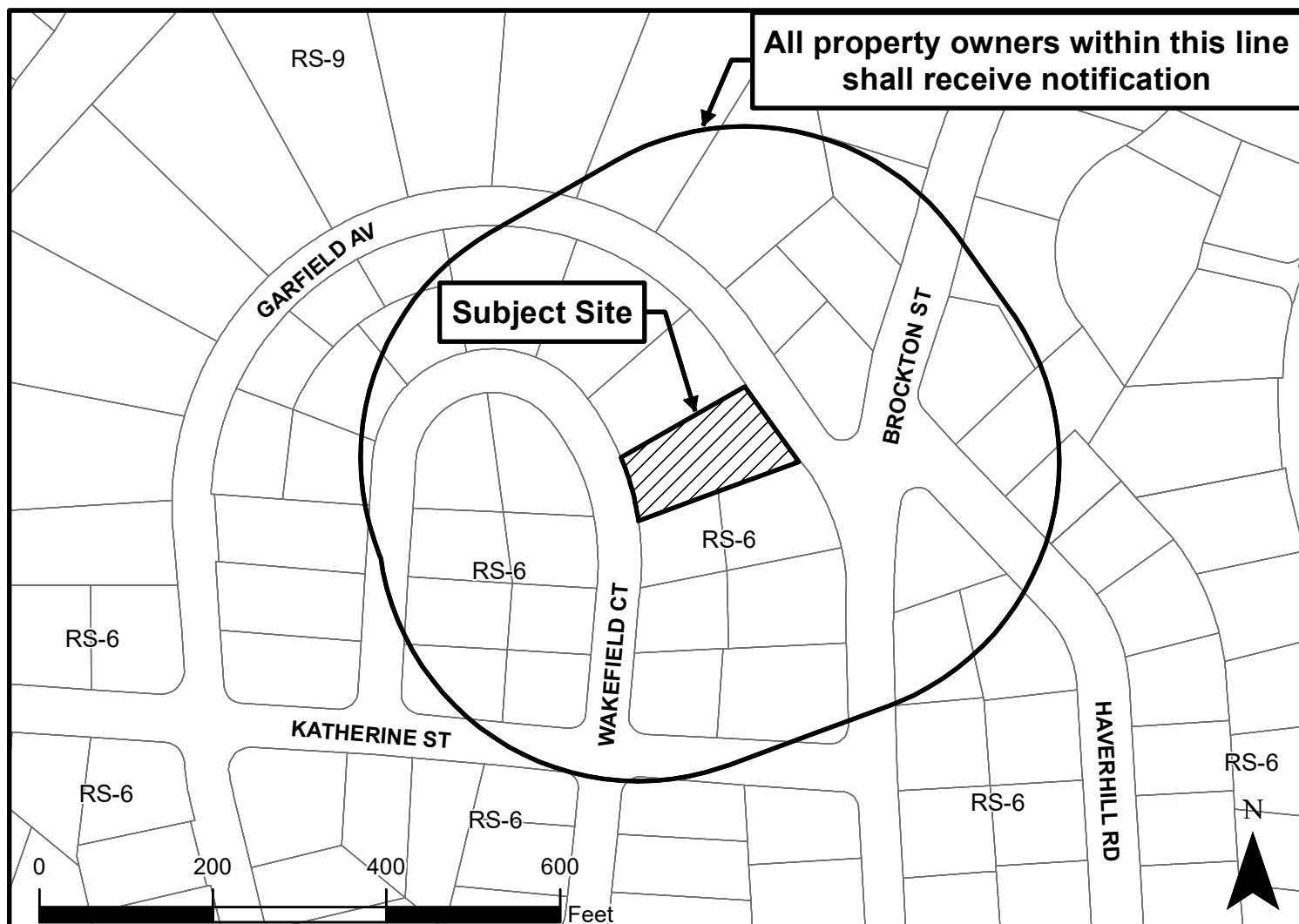
APPROVED BY:



**Anthony Shute
DIRECTOR OF
COMMUNITY
DEVELOPMENT**

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution of APPROVAL of the CEQA Determination
3. Proposed Resolution of APPROVAL for VAR No. 2023-0001
4. Aerial Photograph of Subject Site
5. Application and Disclosure statement
6. Project Plans
7. Site Images



NOTICE OF PROPOSED VARIANCE FOR ACCESSORY DWELLING UNIT

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, May 16, 2023** in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

VARIANCE (VAR) NO. 2023-0001, as submitted by Guy Madar, requesting a reduction of the Garfield Avenue front yard setback to accommodate an Accessory Dwelling Unit. The subject property is a through lot located between Garfield Avenue and Wakefield Court north of Katherine Street, and is addressed as 829 Wakefield Court, Assessor Parcel Number 481-110-29-00.

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearing, but will be available at City Hall in the Project Assistance Center upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at <http://www.elcajon.gov/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **MICHAEL VIGLIONE** at 619-441-1773 or via email at mviglione@elcajon.gov and reference "VAR-2023-0001" in the subject line.

PLANNING COMMISSION RESOLUTION NO.

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) FOR VARIANCE NO. 2023-0001 TO ALLOW A REDUCED FRONT YARD SETBACK OF 15 FEET FROM GARFIELD AVENUE FOR AN ACCESSORY DWELLING UNIT ON A THROUGH LOT IN THE RESIDENTIAL, SINGLE-FAMILY, 6,000 S.F. (RS-6) ZONE, APN: 481-110-29-00, GENERAL PLAN DESIGNATION: LOW DENSITY RESIDENTIAL

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on May 16, 2023, to consider Variance No. 2023-0001, as submitted by Guy Madar, requesting a reduction of the residential, single-family, 6,000 s.f. ("RS-6") zone, 20 foot front yard setback required by El Cajon Municipal Code ("ECMC") section 17.140.190 for a through lot located between Garfield Avenue and Wakefield Court addressed as 829 Wakefield Court, APN: 481-110-29-00; and

WHEREAS, in accordance with California Environmental Quality Act ("CEQA") Guidelines section 15061(b)(2), the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, it is proposed that the project is exempt from the provisions CEQA according to section 15303, Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. Section 15303 provides an exemption for the construction and location of limited numbers of new, small facilities or structures including, specifically, a "single-family residence, or a second dwelling unit in a residential zone." Consistent with the example, the variance application requests a reduction of a front yard setback in a residential zone to accommodate an Accessory Dwelling Unit, the second dwelling unit to be established on the property. Therefore, section 15303 is an appropriate exemption for the proposed project, as the record of proceedings contains evidence to support the determination that the Class 3 Categorical Exemption applies; and

WHEREAS, no evidence was presented in proceedings that any of the conditions which provide exceptions to categorical exemptions as described in CEQA Guidelines section 15300.2, exist; and

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed exemption for Variance No. 2023-0001.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the CEQA exemption.

[The remainder of this page intentionally left blank.]

Planning Commission Resolution No.

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held May 16, 2023, by the following vote:

AYES:
NOES:
ABSTAIN:

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary

PLANNING COMMISSION RESOLUTION NO.

A RESOLUTION APPROVING VARIANCE NO. 2023-0001 TO ALLOW A REDUCED FRONT YARD SETBACK OF 15 FEET FROM GARFIELD AVENUE FOR AN ACCESSORY DWELLING UNIT ON A THROUGH LOT IN THE RESIDENTIAL, SINGLE-FAMILY, 6,000 S.F. (RS-6) ZONE, APN: 481-110-29-00, GENERAL PLAN DESIGNATION: LOW DENSITY RESIDENTIAL

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on May 16, 2023, to consider Variance No. 2023-0001, as submitted by Guy Madar, requesting a reduction of the residential, single-family, 6,000 s.f. ("RS-6") zone, 20 foot front yard setback required by El Cajon Municipal Code ("ECMC") section 17.140.190 for a through lot located between Garfield Avenue and Wakefield Court addressed as 829 Wakefield Court, APN: 481-110-29-00; and

WHEREAS, Variance No. 2023-0001 proposes a reduced front yard setback from Garfield Avenue of approximately 14 feet to accommodate a proposed accessory dwelling unit; and

WHEREAS, the evidence presented to the Planning Commission at the public hearing includes the following:

- A. Special circumstances are present on the subject lot in that it is a steeply sloped through lot with frontage and access on both Wakefield Court and Garfield Avenue, a configuration now generally precluded under the City of El Cajon Subdivision Ordinance. The strict application of the RS-6 zone 20 foot front yard setbacks in combination with the steep slope restrict the feasible building area on the property and deprive it of privileges enjoyed by others in the same vicinity and zone. For example, 1076 Garfield Avenue, which is directly across Garfield Avenue from the subject property, and all of the properties on the east side of Haverhill Road, were also granted reduced setbacks of 15 feet. As single family zoned properties in residential use, any of the aforementioned examples could establish accessory dwelling units that rely upon a 15 foot front yard setback. The strict application of the 20 foot RS-6 front yard setback along the Garfield Avenue frontage would therefore deprive the subject property of privileges enjoyed by other properties in the same vicinity and zone.
- B. Approval of the variance is consistent with the development standard already applied throughout the community to similarly situated properties within the same zone and vicinity. Moreover, there are examples among these properties where topographical conditions such as steep slopes and the considerable grading required to otherwise develop such parcels were recognized as special conditions warranting a reduction in front yard setbacks, including 2700 Katherine Street and the east side of Haverhill Road.

- C. The proposed accessory dwelling unit is a permitted residential use and is similar in scale and mass to those existing single-family homes on the south side of Garfield Avenue. The proposed accessory dwelling unit further preserves the single-family aesthetic of the neighborhood and continues the historic development pattern of the Millbury Terrace Subdivision through lots by providing for a unit along both Wakefield Court and Garfield Avenue. The approval is therefore consistent with existing conditions and is not injurious.
- D. The 2021-2029 Housing Element recognizes accessory dwelling units as a quality affordable housing opportunity for lower income households and, in Policy 5-3, states that "...building permit and development plan processing for residential construction" be facilitated. General Plan Goal 5 additionally encourages a variety of housing types to meet the needs of various age and income groups. The proposed accessory dwelling unit also limits grading impacts to the existing hillside and preserves the single-family appearance of the existing neighborhood through ample separation of residential units consistent with General Plan Policies 5-6.4 and 5-6.5 which prioritize neighborhood development that respects natural boundaries and topography.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES Variance No. 2023-0001 to allow a front yard setback of 15 feet from Garfield Avenue for an accessory dwelling unit on a through lot in the residential, single-family, 6,000 s.f. (RS-6) zone, as generally shown on the attached Exhibit "A", on the above described property, subject to the following conditions:

Planning

1. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall submit and obtain approval of a one-page digital site plan that includes the following specific notes and changes:
 - a. The Zoning Compliance box, symbols legend, and vicinity map from the plans included with Building Permit Application No. 2022-5739 shall be included.
 - b. Include the El Cajon Title Block as shown in the "Additional Requirements for Planning Permits".
 - c. The accessory dwelling unit shall be shifted in northwesterly direction so as to observe a minimum 15 foot setback from the Garfield Avenue right of way and maintain compliance with applicable interior yard setbacks.
2. Alterations to the existing landscape along Garfield Avenue to accommodate the proposed accessory dwelling unit shall comply with the Water Efficient Landscaping regulations in Chapter 17.195. A landscape concept plan or landscape documentation package with appropriate application and fee may be required if applicable.

3. Comply with the Standard Conditions of Development from Planning Commission Resolution No. 10649, as applicable.
4. Comply with all other governing codes, ordinances, and statutes in effect at the time of application for construction permits, including, but not necessarily limited to, the California Building Code, California Fire Code, California Mechanical Code, California Plumbing Code, California Electrical Code, and Green Building Standard Code.
5. A grading plan shall be furnished if required by the Engineering Division pursuant to Lot Grading requirements in ECMC chapter 15.64

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Planning Commission Resolution No.

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held May 16, 2023, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary



Wakefield Court

Garfield Avenue

Brockton Street

Haverhill Road





City of El Cajon

Project Assistance Center
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input checked="" type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 481-110-29-00

Address: 829 WALKFIELD CT EL CAJON

Nearest Intersection: GARFIELD AVE.

Project Description (or attach separate narrative)

DETACHED ADU 1200 SQ.FT.

Project Screening Questions

Existing use?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	If yes, please describe: <u>DETACHED ADU</u> _____ _____ _____ Age of the structures: _____
Modification of use?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	
New development or addition?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	
Existing Structures?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	

Demolition or substantial modification proposed to site improvements or structures?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	_____
Tenant improvements proposed?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	DETACHED ADU
Existing vegetation or trees on site proposed for removal?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	_____
Proposed grading?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	Proposed quantities of cut and/or fill.

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: CREATIVE DESIGN AND BUILD

Contact Name: GUY MADAR

Mailing Address: 829 WALKFIELD CT. EL CAJON

Phone: 1310 282 7376 Email: guycreativednb@gmail.com

Interest in Property: ☒ Own ☐ Lease ☐ Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: _____

Contact Name: _____ License: _____

Mailing Address: _____

Phone: _____ Email: _____

Property Owner Information (if different than applicant)

Company Name: CREATIVE DESIGN AND BUILD

Contact Name: GUY MADAR

Mailing Address: 829 WALKFIELD CT EL CAJON

Phone: 310 282 7376 Email: guycreativednb@gmail.com

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

☒ is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

☐ is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹:



Date: 4.4.2023

Property Owner
Signature²:



Date: 4.4.2023

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-submittal Review

The purpose of a pre-submittal review is to provide you an opportunity to review your project with the City's development team in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

GUY MADAR

Avital Levia ohayon

List the names and address of all persons having any ownership interest in the property involved.

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes _____ No ☒

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

"Person" is defined as "Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert." Gov't Code §82047.

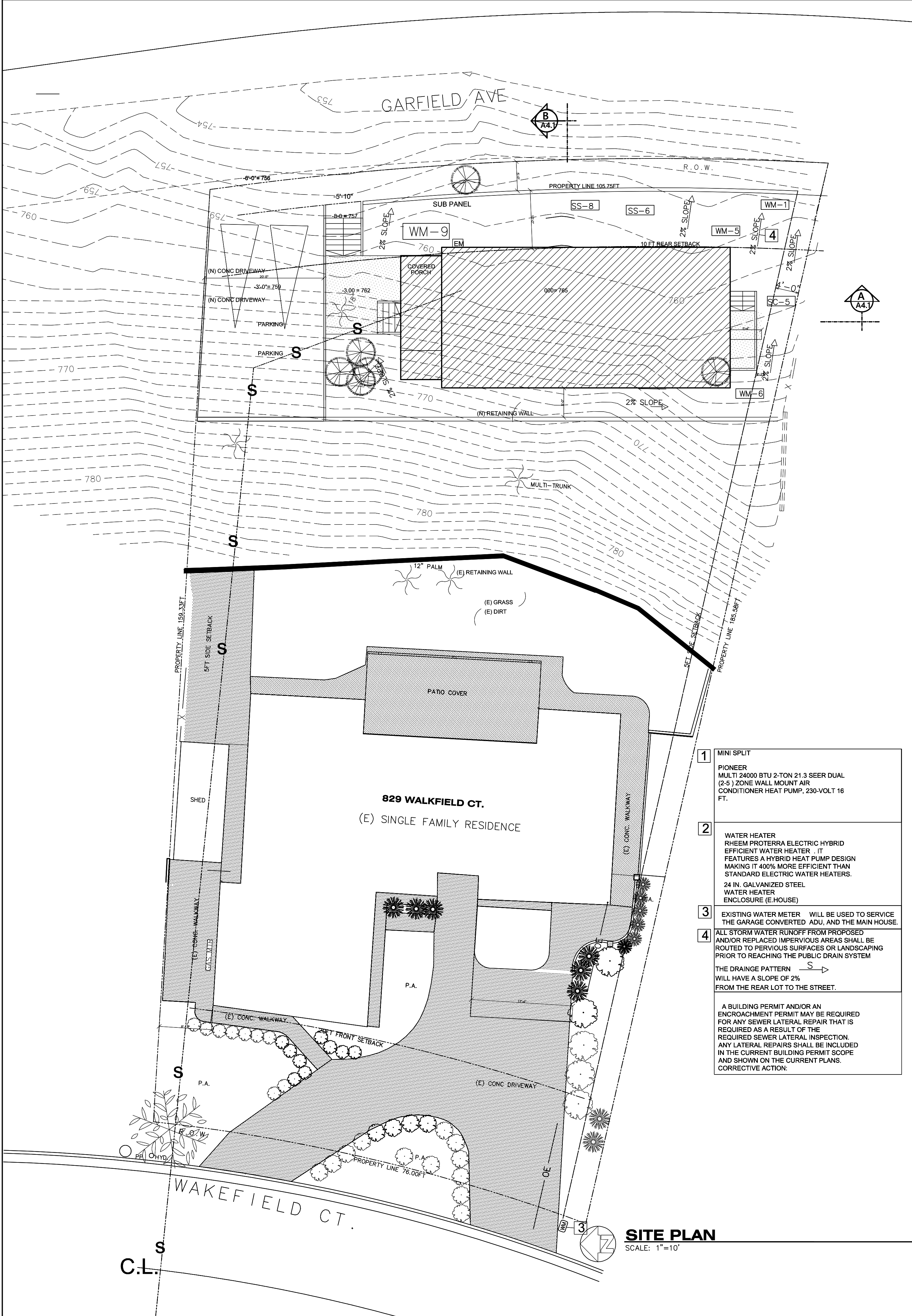


4.4.2023

Signature of applicant / date

Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.



start-up of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system. (CalGreen 4.504.1)

12. Adhesives, sealants, caulks, paints, and coatings pollutant control. Adhesives (including carpet adhesives), sealants, caulks, paints, and coatings shall comply with VOC limits per CalGreen 4.504.2. Verification of compliance shall be provided at the request of the enforcing agency. (CalGreen 4.504.2.1)

13. Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following (CalGreen 4.504.3):

- Carpet and Rug Institute's Green Label Plus Program (all carpet cushion must meet the requirements of this program).
- California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350).
- NSF/ANSI 140 at the Gold level 1.1, February 2010
- Scientific Certifications Systems Indoor Advantage™ Gold.

14. Resilient flooring systems. At least 80 percent of the floor area receiving resilient flooring shall comply with one or more of the following (CalGreen 4.504.4):

- VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database
- Products compliant with CHPS criteria certified under the Greenguard Children & Schools program
- Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program
- Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350)

15. Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.) by or before the dates specified in those sections, as shown in CalGreen Table 4.504.5. The following limits are in parts per million (CalGreen 4.504.5):

- Hardwood plywood veneer core
- 0.05
- Hardwood plywood composite core
- 0.05
- Particle board
- 0.09
- Medium-density fiberboard (MDF)
- 0.11
- Thin MDF (5/16 inch or less)

0.13

16. Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following (CalGreen 4.505.3):

- Moisture content shall be determined with either a prototype or contact-type moisture meter.
- b.

Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified.

- At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

17. Bathrooms with a bathtub and/or shower shall be mechanically ventilated per the following (CalGreen 4.506.1):

- Fans shall be ENERGY STAR compliant and ducted to terminate outside building
- Unless functioning as a component of a whole-house ventilation system, fans shall have humidity control.
- Humidity controls shall be capable of adjustment btwn a relative humidity range of <= 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment
- A humidity control may be a separate component to the exhaust fan and is not required to be integral

18. Heating and air-conditioning system design. Heating and air conditioning

systems shall be sized, designed, and have their equipment selected using the following methods (CalGreen 4.507.2):

- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual 2 2011, ASHRAE handbooks, or other equivalent design software or methods.
- Duct systems are sized according to ANSI/ACCA 1 Manual D 2014, ASHRAE handbooks, or other equivalent design software or methods.
- Select heating and cooling equipment according to ACCA 36-S Manual S 2014 or other equivalent design software or methods

demolition waste material diverted from the landfill complies with Section 4.408.1. (CalGreen 4.408.3)

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste company.

8. Waste stream reduction alternative [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the 65 percent construction waste reduction requirement in Section 4.408.1. (CalGreen 4.408.4)

4.408.4.1 Waste stream reduction alternative. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area shall meet the 65 percent construction waste reduction requirement in Section 4.408.1.

9. Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1-5, Section 4.408.3, or Section 4.408.4.

10. Operation and maintenance manual. Prior to final inspection, a manual, compact disc, web-based reference, or other acceptable media which includes all of the following shall be placed in the building (CalGreen 4.410.1):

- Directions to owner or occupant that manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following: 1. Equipment and appliances including water-saving devices and systems, HVAC system, photovoltaic systems, water-heating systems and other major appliances and equipment.
- Roof and yard drainage, including gutters and downspouts.
- Space conditioning systems, including condensers and air filters.
- Landscape irrigation systems.
- Water reuse systems.
- Information from local utility, water, and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspection verifications required by the enforcing agency or code.

CALGREEN

Green Building Standards Code (CalGreen) Requirements

1. Applicability. CalGreen residential mandatory measures shall apply to every newly constructed building or structure and within any addition or alteration increasing a building's conditioned area, volume, or size. (CalGreen 101.3, CalGreen 301.1.1)
- Exception: All residential buildings undergoing permitted alterations, additions, or repairs shall comply with the following improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures per CalGreen 301.1.1 and CalGreen 4.303.1
2. Water conserving plumbing fixtures and fittings. Plumbing fixtures and fittings shall comply with the following per CalGreen 4.303.1:
 - a. Water closets: Maximum 1.28 gallons per flush
 - b. Urinals: Maximum 0.5 gallons per flush
 - c. Single showerheads: Maximum flow rate of 1.8 gallons per minute at 80 psi
 - d. Multiple showerheads serving one shower: Maximum combined flow rate of 1.8 gallons per minute at 80 psi
 - e. Lavatory faucets: Maximum flow rate of 1.2 gallons per minute at 60 psi, minimum flow rate of 0.8 gallons per minute at 20 psi
 - f. Kitchen faucets: Maximum flow rate of 1.8 gallons per minute at 60 psiException: Temporary increase allowed to maximum 2.2 gallons per minute at 60 psi if faucet results back to maximum 1.8 gallons per minute at 60 psi
3. Irrigation controllers. Automatic irrigation system controllers for landscaping shall comply with the following (CalGreen 304.1.1):
 - a. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
 - b. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
4. Joints and openings. Openings in the building envelope separating conditioned space from unconditioned space needed to accommodate utility and other penetrations must be sealed in compliance with the California Energy Code. (CalGreen 4.406.1) Exception: Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such opening with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
5. Construction waste reduction, disposal, and recycling. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3, or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. (CalGreen 4.408.1) Exception: Excavated soil and land-clearing debris.
- Exception: Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite
- The County of San Diego, Department of Public Works, Construction & Demolition (C&D) Facilities Guide is online at: https://www.sandiegocounty.gov/content/dam/sdc/dpw/SOLID_WASTE_PLANNING_and_RECYCLING/UpdatedDRResource%20Facility_QuickGuide.pdf
- Exception: The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
6. Construction waste management plan. A construction waste management plan in conformance with Items 1-5 shall be completed and available on the job site. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. (CalGreen 4.408.2)
1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use
2. Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste materials will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
7. Waste management company. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. (CalGreen 4.408.3)
- Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste company.
8. Waste stream reduction alternative [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the 65 percent construction waste reduction requirement in Section 4.408.1. (CalGreen 4.408.4)
- 4.408.4.1 Waste stream reduction alternative. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area shall meet the 65 percent construction waste reduction requirement in Section 4.408.1.
9. Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1-5, Section 4.408.3, or Section 4.408.4.
10. Operation and maintenance manual. Prior to final inspection, a manual, compact disc, web-based reference, or other acceptable media which includes all of the following shall be placed in the building (CalGreen 4.410.1):
 - a. Directions to owner or occupant that manual shall remain with the building throughout the life cycle of the structure.
 - b. Operation and maintenance instructions for the following: 1. Equipment and appliances including water-saving devices and systems, HVAC system, photovoltaic systems, water-heating systems and other major appliances and equipment.
 2. Roof and yard drainage, including gutters and downspouts.
 3. Space conditioning systems, including condensers and air filters.
 4. Landscape irrigation systems.
 5. Water reuse systems.
 - c. Information from local utility, water, and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
 - d. Public transportation and/or carpool options available in the area.
 - e. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and methods an occupant may use to maintain the relative humidity level in that range.
 - f. Information about water-conserving landscape and irrigation design and controllers which conserve water.
 - g. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
 - h. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
 - i. Information about state solar energy and incentive programs available.
 - j. A copy of all special inspection verifications required by the enforcing agency or code.

GENERAL NOTES

00800 SPECIAL CONDITIONS

1. GENERAL: DRAWINGS ARE SCHEMATIC. ALL WORK SHOWN OR REASONABLY INFERRED SHALL BE COMPLETED TO THE HIGHEST STANDARDS OF THE INDUSTRY AND READY FOR OCCUPANCY UNLESS SPECIFICALLY NOTED OTHERWISE. DETAILS AND METHODS NOT OTHERWISE SHOWN ARE LEFT TO THE DISCRETION OF THE CONTRACTOR.
- 2.- THIS PROJECT AND ALL WORK SHALL COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2018 IRC). 2019 EDITION OF THE CALIFORNIA BUILDING CODE (BASED ON THE 2018 IBC). THIS PROJECT AND ALL WORK SHALL ALSO COMPLY WITH ALL CITY OF SAN DIEGO MUNICIPAL CODE, AND ALL CITY AND COUNTY REGULATIONS, ORDINANCES AND REQUIREMENTS.
- 2019 EDITION OF THE CALIFORNIA ELECTRICAL CODE (BASED ON THE 2017 N.E.C.), 2019 EDITION OF THE CALIFORNIA MECHANICAL CODE (BASED ON THE 2018 U.M.C.), 2019 EDITION OF THE CALIFORNIA PLUMBING CODE (BASED ON THE 2018 U.P.C.) 2019 EDITION OF THE CALIFORNIA GREEN BUILDING CODE 2019 EDITION OF THE CALIFORNIA FIRE CODE (BASED ON THE 2018 I.F.C.) 2019 EDITION OF THE CALIFORNIA ENERGY CODE.
6. SAFETY: PROVISIONS FOR PROTECTION OF THE PUBLIC AND WORKMEN ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. LABOR: ALL WORK SHALL BE PERFORMED IN THE MOST PROFESSIONAL MANNER BY EXPERIENCED MECHANICS SKILLED IN THEIR TRADE. CONSUMPTION OF ALCOHOLIC BEVERAGES IS NOT ALLOWED ON JOBS. SMOKING IS NOT ALLOWED WITHIN THE BUILDING. CONTRACTOR SHALL REMOVE ANY WORKER FROM THE JOB WHO DOES NOT COMPLY WITH THE ABOVE REQUIREMENTS AT REQUEST OF THE DESIGNER. CONTRACTOR SHALL PROVIDE A QUALIFIED SUPERVISOR ON THE SITE DURING ALL CONSTRUCTION WORK UNLESS SPECIFICALLY EXCEPTED BY OWNER AND/OR SUBCONTRACTORS
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS FOR BOTH NEW WORK AND EXISTING CONDITIONS.
- CONTRACTOR SHALL COORDINATE THE WORK AND SCHEDULE THE TIMING AS NOT TO CAUSE DELAYS TO ANY PHASE OF CONSTRUCTION.
- THE BUILDING AND GROUNDS SHALL BE KEPT CLEAN AT ALL TIMES. THE CONTRACTOR SHALL LEAVE THE SITE SAFE, ORDERLY AND SECURED AT THE END OF EACH WORKDAY.
- CONTRACTOR SHALL PROTECT EXISTING BUILDING AND PROPERTY FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES. REPAIR AT NO ADDITIONAL COST ANY DAMAGE SO INCURRED.
- UPON SUBSTANTIAL COMPLETION, CONTRACTOR SHALL COMPLETE ALL WORK REQUIRED AT FINAL INSPECTION WITHIN THE TIME THEN AGREED TO AND SHALL DELIVER TO THE OWNER ALL CERTIFICATIONS, WARRANTIES, GUARANTEES, INSTALLATION AND OPERATION INSTRUCTIONS FOR ALL APPLIANCES, DEVICES AND MATERIALS INCORPORATED IN THE WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE DESIGNER, ENGINEER, AND OWNER HARMLESS FOR THE INJURY OR DEATH TO PERSONS, OR DAMAGE TO PROPERTY, CAUSED BY THE NEGLIGENCE OF THE CONTRACTOR, HIS/HER EMPLOYEES, AGENTS, OR SUBCONTRACTORS
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB SITE AD BUILDING INTERIOR DURING AND AT THE COMPLETION OF THE WORK. EACH CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT HIS OWN EXPENSE
- THE CONTRACTOR SHALL USE THE DIMENSIONS SHOWN ON THE DRAWINGS IN CONJUNCTION WITH ACTUAL FIELD MEASUREMENTS. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF COMPLETE ACCURACY. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES OR CONDITIONS WHICH MAY ADVERSELY AFFECT THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF WORK AFFECTED. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED. CEILING HEIGHT DIMENSIONS ARE FROM THE FINISHED FLOOR SURFACE TO THE FACE OF THE FINISHED CEILING UNLESS OTHERWISE NOTED
- WHERE ANY WORK SHOWN ON THESE PLANS DEVIATES FROM THESE CODE REQUIREMENTS, THESE CODE REQUIREMENTS SHALL TAKE PRECEDENCE. NOTIFY THE PROJECT OWNER IN WRITING OF ANY SUCH DEVIATIONS PRIOR TO ANY WORK OR ORDERING MATERIALS. AND FOR ALL STRUCTURAL ITEMS (2019 CRC) AND STRUCTURAL CALCULATIONS 3.- PERMANENT VACUUM BREAKERS SHALL BE INSTALLED WITH ALL NEW HOSE BIBBS.
- 4.- ALL SHOWERHEADS FOR ALL SHOWER FIXTURES SHALL BE CERTIFIED AS HAVING MAXIMUM FLOW RATE OF NO MORE THAN 1.8 GALLONS PER MINUTE.
- ALL LAVATORY FAUCETS SHALL BE EQUIPPED WITH AN AERATOR WITH A CERTIFIED MAXIMUM FLOW RATE OF NO MORE THAN 1.2 GALLONS PER MINUTE.
- ALL WATER CLOSETS AND ASSOCIATED FLUSHOMETER VALVES, IF ANY, SHALL BE CERTIFIED AS USING NO MORE THAN 1.28 GALLONS PER FLUSH AND SHALL MEET THE PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARD INSTITUTE STANDARD A112.19.2.
- 5.- WATER PIPING CONNECTIONS SHALL USE LEAD FREE SOLDER.
- 6.- TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- 7.- WATER HEATERS (BOILERS) SHALL COMPLY WITH THE CALIFORNIA CPC FOR THERMAL EXPANSION REQUIREMENTS.
- 8.- THE SAFETY OF FIELD PERSONNEL DURING CONSTRUCTION IS THE RESPONSIBILITY OF EACH INSTALLATION CONTRACTOR. INSTALLATION CONTRACTORS SHALL NOTIFY THE OWNER IF HE FEELS THAT ANY OF THE RECOMMENDED ACTIONS CONTAINED HEREIN TO BE UNSAFE.
- 9.- EXTERIOR DOORS MAY NOT SWING OUTWARD WHEN THERE IS GREATER THAN A 1/2" DROP BELOW FINISH FLOOR OF HOUSE.
- 10.- PLUMBING NOTE: ALL PRIMARY CONDENSATE LINES SHALL TERMINATE AT A TRAPPED PLUMBING FIXTURE.
- 11.- ELECTRICAL NOTE: ALL BEDROOM AND ADJACENT AREA ELECTRICAL OUTLETS SHALL BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTERS (A.F.C.I.).
- 12.- RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH NEC.
- 13.- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- 14.- DIAPHRAGM SHEATHING NAILS OR OTHER APPROVED CONNECTORS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING.
- 15.- UNAUTHORIZED CHANGES & USES: THE OWNER/BUILDER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THE PLANS. ALL CHANGES TO THESE PLANS SHALL BE IN WRITING AND MUST BE APPROVED BY THE OWNER/BUILDER.
- 16.- WHERE MATERIALS OR ASSEMBLIES ARE REQUIRED BY THE BUILDING CODE TO BE LABELED, SUCH MATERIALS AND ASSEMBLIES SHALL BE LABELED BY AN AGENCY APPROVED BY THE CITY OF SAN DIEGO IN ACCORDANCE WITH SECTION 1703 OF THE CBC. PRODUCTS AND MATERIALS TO BE LABELED SHALL BE TESTED, INSPECTED AND LABELED IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN SECTIONS 1703.5.1 THROUGH 1703.5.3.
- 17.- BATHROOM AND LAUNDRY EXHAUST FANS SHALL PROVIDE MINIMUM 5 AIR CHANGES PER HOUR. A 100 SQ. INCHES OF MAKE UP AIR SHALL BE PROVIDED TO LAUNDRY ROOMS PER 2007 CALIFORNIA C.M.C.. NOTE THAT EXHAUST FANS SHALL NOT DISCHARGE TO THE EXTERIOR OF THE BUILDING CLOSER THAN 3' FROM ANY EXTERIOR OPENING.
- 18.- THE LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7.75 FEET BELOW THE TOP OF THE THRESHOLD. PROVIDED THE DOOR, OTHER THAN AN EXTERIOR SCREEN DOOR, DOES NOT SWING OVER THE LANDING.
- 19.- ALL BATHROOM CIRCUITING SHALL BE EITHER: A) A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM, OR B) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
- 20.- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- 21.- JOINTS AND OPENINGS, ANGULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.



Creative Design & Build San Diego CA

CONSTRUCTION
Office: (855) 445-9455
www.creativedesignandbuildinc.com

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All dimensions designations given are subject
to verification on job site and adjustment
to fit job conditions.

PROJECT NO:

PRELIMINARY

CD

GUY MADAR
829 WALKFIELD CT.
EL CAJON CA.

A.P.N. 481-110-29-00

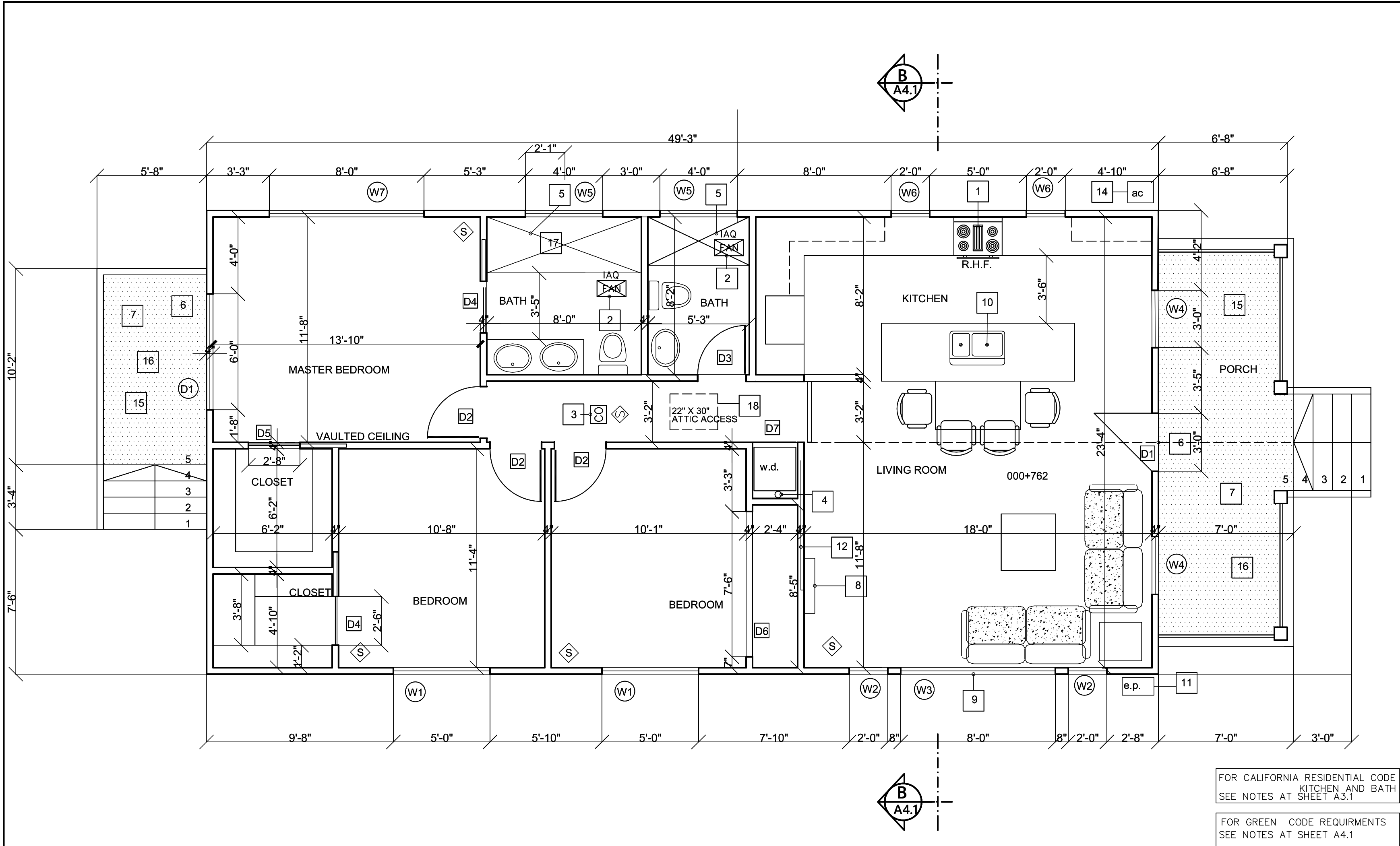
Title
SITE PLAN
DETACHED ADU

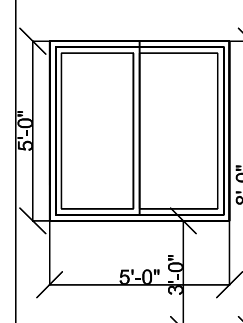
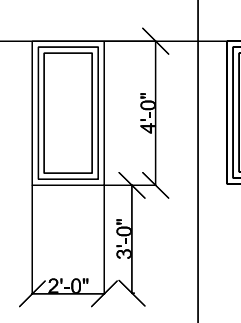
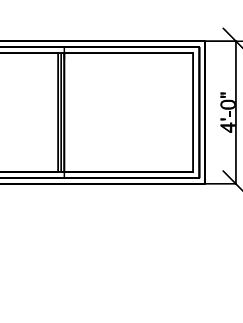
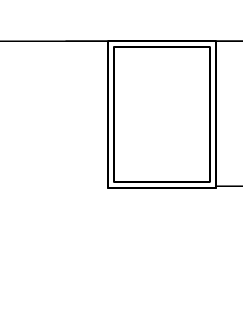
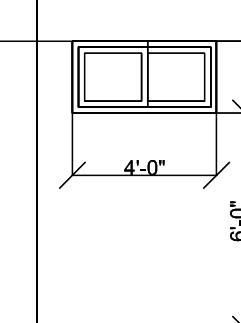
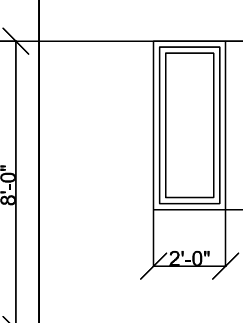
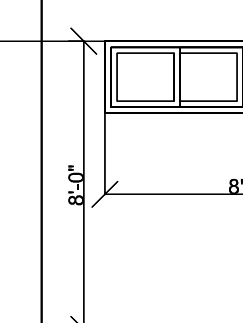
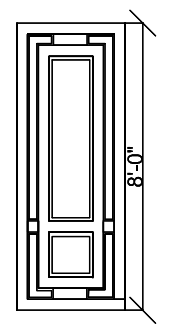
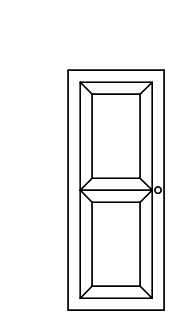
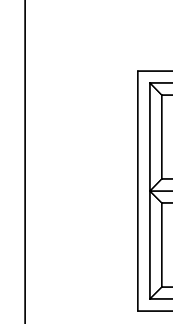
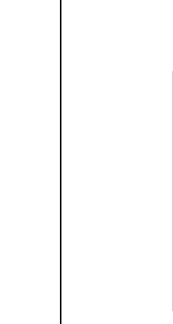
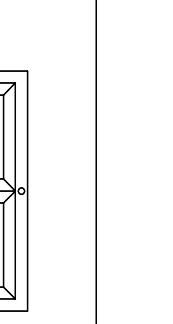
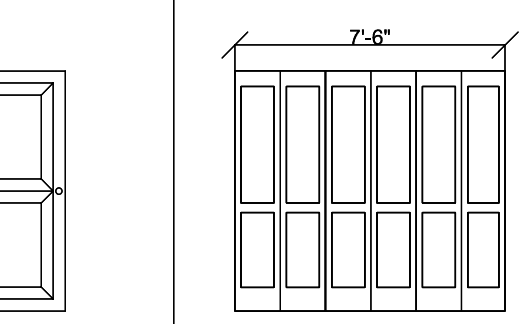
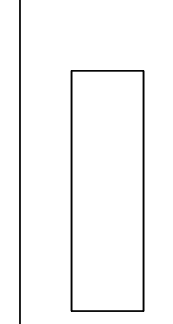


IL TOTAL DESIGN
RUMMY DECHNER
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Tel: 818 424 5479
CID:#7204

DRAWN	RUMMY DECHNER
DATE	3.21.2020
SCALE	1"=10'-0"
JOB NO.	233-21

A1.1



WINDOW AND DOOR SCHEDULE							
	W1	W2	W3	W4	W5	W6	W7
							
LOCATION	BEDROOM	LIVING ROOM	LIVING ROOM	PORCH	BATHROOM	KITCHEN	MASTER BEDROOM
SIZE	5'-0"x4'-0"	2'-0" X 4'-0"	8'-0"x4'-0"	3'-0"x4'-0"	4'-0"x2'-0"	2'-0"x4'-8"	8'-0"x8'-0"
W TYPE	SLIDING	PICTURE	SLIDING	CASEMENT	SLIDING	CASEMENT	SLIDING
FRAME	HEATER IS NOT						
GLAZE	INSL/W E WITH ARGON	INSL/W E WITH ARGON	INSL/W E WITH ARGON	INSL/W E WITH ARGON	INSL/W E WITH ARGON	INSL/W E WITH ARGON	INSL/W E WITH ARGON
QUANTITY	2	2	1	2	2	2	1
REMARKS		TEMPERED GLASS	TEMPERED GLASS	TEMPERED GLASS		TEMPERED GLASS	TEMPERED GLASS
U-FACTOR 0.3 AND SHGC 0.23							
DOOR SCHEDULE							
	D1	D2	D3	D4	D5	D6	D7
							
LOCATION	ENTRANCE	BEDROOMS	BATHROOM	BATHROOM/CLOSET	CLOSET		CLOSET
SIZE	3'-0"x6'-0"	3'-0"x6'-0"	3'-0"x6'-0"	3'-0"x6'-0"	3'-0"x6'-0"		3'-0"x6'-0"
W TYPE	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING		SLIDING
FRAME	HEATER IS NOT						
GLAZE	INSL/W E WITH ARGON	INSL/W E WITH ARGON	INSL/W E WITH ARGON	INSL/W E WITH ARGON	INSL/W E WITH ARGON		INSL/W E WITH ARGON
QUANTITY	1	3	1	2	1		1
REMARKS				POCKET	POCKET		

- 1 CERTIFIED RANGE HOOD PROVIDING AT LIST 100 CFM AT LOW SPEED WITH SOUND RATING OF NO MORE THAN 30 SONES AT LOW SPEED KITCHEN RANGE HOOD FANS ARE NOW REQUIRED TO BE VERIFIED BY A HERS RATER INTERMITTENTLY OPERATED (KITCHEN, BATH, ETC.). LOCAL EXHAUST FANS SHALL BE RATED AT 3.0 SONES OR LESS.
- 2 FAN REQUIREMENT: 50 CFM (BATHROOM VENTILATION)+ 20 CFM (IAQ) = 70 CFM MIN EXHAUST VENTILATION IS ACHIEVED BY A QUIET CEILING-MOUNTED BATH FAN. AIR IS DRAINED FROM THE HOUSE BY THE EXHAUST FAN AND OUTDOOR AIR ENTERS THE HOUSE THROUGH INFILTRATION BATHROOM EXHAUST FANS SHALL HAVE INSULATED COVERS OR LOUVERS WHICH CLOSE WHEN THE FAN IS OFF. THE COVERS OR LOUVERS SHALL HAVE MIN. R-4.2 INSULATION. CGBSC 4.507.1. EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE, CHAPTER 4; AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5.
- 3 SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE 110V, PERMANENTLY WIRED, INTERCONNECTED, AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. REFER TO ELECTRICAL PLANS. SMOKE ALARMS: CRC R314 1. ALTERATIONS, REPAIRS, AND ADDITIONS WHEN A PERMIT IS ISSUED TO MAKE ALTERATIONS, REPAIRS OR AN ADDITION WITH VALUATION EXCEEDING \$1000, SMOKE ALARMS ARE REQUIRED IN ALL DWELLINGS UNITS INTENDED FOR HUMAN OCCUPANCY (MULTI-FAMILY DWELLINGS.) A SMOKE ALARM IS REQUIRED FOR ALL OTHER DWELLINGS (ONE OR TWO FAMILY DWELLINGS, DWELLING UNIT OR SFR) INTENDED FOR HUMAN OCCUPANCY SELF CONTAINED SMOKE ALARMS INSIDE EACH BEDROOM. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. SMOKE ALARM LOCATIONS SHALL BE NOT LESS THAN 3 FT FROM THE DOOR OPENING OF A BATHROOM. THEY SHALL BE AT LEAST 20 FT FROM A COOKING APPLIANCE. THEY SHALL BE AT LEAST 3 FT FROM SUPPLY REGISTERS OF HEATING/COOLING SYSTEMS. THEY SHALL BE AT LEAST 3 FT FROM THE TIP OF THE BLADE CARBON MONOXIDE ALARMS OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHEN MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.
- 4 4" DRYER VENT EXHAUST DUCTS SHOULD BE TERMINATED IN A DAMPERED WALL CAP TO PREVENT BACK DRAFTS, BIRD NESTING, ETC. THE WALL CAP MUST ALSO BE LOCATED AT LEAST 12" ABOVE THE GROUND OR ANY OTHER OBSTRUCTION WITH THE OPENING POINTED DOWN. SHOWER ENCLOSURE SHALL BE TEMPERED. THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408, 409, 410. TEMPERATURE LIMITING DEVICE INDIVIDUAL SHOWER AND TUB/SHOWER COMBINATION VALVES SHALL BE BALANCED-PRESSURE, THERMOSTATIC OR COMBINATION BALANCED-PRESSURE/THERMOSTATIC VALVES THAT CONFORM TO THE REQUIREMENTS OF ASSE 1010 OR ASME A112.18.1/CSA B125.1 AND SHALL BE INSTALLED AT THE POINT OF USE. SHOWER AND TUB/SHOWER COMBINATION VALVES REQUIRED BY THIS SECTION SHALL BE EQUIPPED WITH A MEANS TO LIMIT THE MAXIMUM SETTING OF THE VALVE TO 120°F (49°C), WHICH SHALL BE FIELD ADJUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. IN-LINE THERMOSTATIC VALVES SHALL NOT BE UTILIZED FOR COMPLIANCE WITH THIS SECTION. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FT ABOVE THE FLOOR (R307.2).
- 5 *ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING* PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC). HOT WATER PIPING SHALL BE INSULATED. [CPC 609.11, 150.0(J)2A]
- 6 LANDING ELEVATION NOT MORE THAN 1.5" BELOW THE TOP OF THE THRESHOLD.
- 7 LANDING AT EXTERIOR DOORS: 36" DEEP MIN. WITH A SLOPE NOT EXCEEDING 1/4" VERTICAL IN 12" HORIZONTAL (2%). THE WIDTH OF LANDING SHALL NOT BE LESS THAN THE DOOR SERVED (R 311.3).
- 8 HEATING INTERIOR SPACES INTEND FOR PROVIDED W/ SPACE-HEATING SYSTEM TEMPERATURE OF 68 DEGREE F PIONEER MULTI 24000 BTU 2-TON 21.3 SEER DUAL (2) ZONE WALL MOUNT AIR CONDITIONER HEAT PUMP, 230-VOLT 16 FT HEATING AND AIR CONDITIONERS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: 1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J - 2004 RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. 2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D - 2009 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S - 2004 (RESIDENTIAL EQUIPMENT SELECTION). U-FACTOR (HEAT LOSS WINDOW) - 0.3 AND SHGC (SOLAR HEAT GAIN COEFFICIENT) 0.23
- 9 PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE HOT WATER PIPING SHALL BE INSULATED. [CPC 609.11, 150.0(J)2A]
- 10 3 FEET OF CLEARANCE SHOULD BE PROVIDED IN FRONT OF THE ELECT PANEL. THE WIDTH OF THE WORKING SPACE MUST BE EITHER THE WIDTH OF THE EQUIPMENT OR 30" - WHICHEVER IS GREATER.
- 11 INDOOR UNIT MINI SPLIT THE DRAIN TUBE CONNECTS TO THE INDOOR UNIT AND DRAINS MOISTURE TO THE NEAREST PLUMBING FIXTURE. 3/4" CONDENSATE DRAIN LINE RIGID PVC PIPE PROPERLY SLOPED 1/8" TO 3/4"
- 12 PROVIDE A TEMPERATURE LIMITING DEVICE FOR THE SHOWERS, TUBS, SHOWER/TUB COMBINATIONS AND WHIRLPOOL BATHTUBS TO A MAXIMUM OF 120 DEGREES F. THE THERMOSTAT OF THE WATER HEATER IS NOT CONSIDERED A CONTROL FOR MEETING THIS PROVISION. (CPC 414.5 AND 418.0)
- 13 PAD SUPPORTING COMPRESSOR/CONDENSER SHALL BE A MINIMUM OF 3" ABOVE THE GRADE. CMC 1105.2 MEANS FOR INTERRUPTING THE ELECTRICAL SUPPLY TO THE AIR CONDITIONING EQUIPMENT AND TO ITS ASSOCIATED COOLING TOWER SHALL BE PROVIDED WITHIN SIGHT OF AND NOT OVER 50 FT. FROM THE AIR-CONDITIONER AND COOLING TOWER. CMC 903.2.7
- 14 CLASS A DECK AND ROOF DECK PLANK WALKING DECK AND ROOF COVERING SYSTEMS EVALUATED SINCE 1980. THE SYSTEM UTILIZES A 2.5 GALVANIZED METAL LATH AND A POLYACRYLIC EMULSION BASE COAT, WITH A WIDE VARIETY OF FINISH OPTIONS. ALL OF THE SYSTEMS CARRY A ONE-HOUR AND CLASS A FIRE RATING. ADDITIONAL TESTING/APPROVALS: Surface Burning (ASTM E 84) 12. Chemical Resistance (ASTM D2299) 13. Spread of Flame (ASTM E108) 14. Fire Tests of Roof Coverings (ASTM E108) 15. One-Hour System (ASTM E119) 16. Intermittent Flame (ASTM E108)
- 15 DECK STAIRS MOISTURE CONTROL IRC SECTION 319 REQUIRES ALL STRUCTURAL ELEMENTS EXPOSED TO WEATHERING TO BE PROTECTED AGAINST DECAY. WHEN USUALLY MEANS USING PRESERVATIVE-TREATED LUMBER (REQUIREMENTS CAN BE FOUND IN IRC SECTION R502.1.1). TO RESIST CORROSION, ALL FASTENERS USED IN DECK CONSTRUCTION MUST BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. JOIST HANGERS AND ANCHORING STRAPS ARE SUBJECT TO THE SAME REQUIREMENTS AS FASTENERS. IRC TABLE R602.3 (1), *FASTENER SCHEDULE FOR STRUCTURAL MEMBERS,* SPECIFIES THE CORRECT TYPE, SIZE, AND NUMBER OF FASTENERS REQUIRED IN COMMON CONSTRUCTION ELEMENTS (IRC SECTION R502.2.2 REQUIRES POSITIVE ANCHORING OF NON-FREESTANDING DECKS TO THE PRIMARY STRUCTURE AND PROHIBITS TOENAILING OR USING NAILS TO MAKE THIS CONNECTION. IN THE 2007 IRC SUPPLEMENT, SECTION R502.2.2.1 WAS JUST ADOPTED TO CLARIFY THIS PROVISION (FIGURE 3). IT SPECIFIES THE USE OF LAG SCREWS, OR BOLTS AND WASHERS WHEN ATTACHING THE DECK LEDGER TO THE PRIMARY STRUCTURE. PROVIDE A TEMPERATURE LIMITING DEVICE FOR THE SHOWERS, TUBS, SHOWER/TUB COMBINATIONS AND WHIRLPOOL BATHTUBS TO A MAXIMUM OF 120 DEGREES F. THE THERMOSTAT OF THE WATER HEATER IS NOT CONSIDERED A CONTROL FOR MEETING THIS PROVISION. (CPC 414.5 AND 418.0) 12" X 30" (MINIMUM) ATTIC ACCESS IN CEILING WITH 30" MIN VERTICAL CLEARANCE. ATTIC ACCESS PANELS SHALL BE GASKETED & INSULATED TO MATCH THE RATED
- 16 17 18

PLUMBING NOTES

PROVIDE LAVATORY FAUCETS WITH A MAX FLOW OF 1.2 GALLONS PER MINUTE PROVIDE WATER CLOSET WITH A MAX FLOW OF 1.28 GALLONS FLUSH(GPF) 4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER, WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.

NOTE: A HAND HAVE ONE SHOWERHEAD SHALL NOT EXCEED 1.8 GPM AT 80 PSI.

EXHAUST FAN W/ LED LIGHT CONTROLLED BY A HUMIDITY CONTROL. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

FAN REQUIREMENT: 50 CFM (BATHROOM VENTILATION) + 20 CFM (IAQ) = 70 CFM MIN. TO BE PROVIDED

FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

R307.2 BATHTUB AND SHOWER SPACES BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

STATE HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING. PER PLAN MINIMUM CLEARANCES OF 15" FROM THE CENTER LINE OF WATER CLOSET & 24" IN FRONT OF WATER CLOSET. A MAX FLOW OF 1.28 GPF (GALLONS FLUSH) A MAX. OF 1.2 GAL/S/ MIN(GMP) AT 60 PSI FOR LAVATORY FAUCETS. A MAX. OF 1.8 GAL/S/ MIN(GMP) AT 60 PSI FOR KITCHEN FAUCETS. A MAX. OF 1.8 GAL/S/ MIN (GMP) AT 80 PSI. FOR SHOWER HEADS.

CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PROVIDE MIXING VALVES AT SHOWER AS PER UPC.

50 CFM CHANGES / HR @ BATHROOMS FOR VENTILATION. ALL HOT WATER LINE TO BE INSULATED. COVER WALLS AND CEILINGS IN TUB & SHOWER COMPARTMENTS W/ 1/8" FELT. MATERIALS USED ON SUCH WALLS SHALL BE OF A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.

ALL WATER CLOSET IN NEW CONSTRUCTION SHALL BE 1.28 G.P.F. MODELS PURSUANT TO HEALTH AND SAFETY CODE.

SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6FT ABOVE THE FLOOR.

WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. HANDSHOWNERS ARE CONSIDERED SHOWERHEADS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC).

● ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING.

● PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC).

ALL NEW RESIDENTIAL BUILDINGS (SINGLE FAMILY, DUPLEXES OR TOWN HOMES) SHALL BE CONSTRUCTED TO INCLUDE WASTE PIPING TO DISCHARGE GRAY WATER FROM CLOTHES WASHERS TO A PLACE WHERE IT MAY BE USED FOR OUTDOOR IRRIGATION, IN COMPLIANCE WITH SECTION 1602 OF THE CALIFORNIA PLUMBING CODE.

4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER, WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND / OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.

NOTE: A HAND

PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE

MIN. 1/4" PER FOOT SLOPE FOR WASTE PIPES PER SECTION 708 CPC."

BUILDING DRAIN AND VENT PIPING MATERIALS SHALL COMPLY WITH SECTIONS 701.0 AND 903.0 OF THE CALIFORNIA PLUMBING CODE."

ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY."

ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY."

EACH VENT SHALL RISE VERTICALLY TO A POINT NOT LESS THAN SIX (6) INCHES ABOVE THE FLOODLEVEL RIM OF THE FIXTURE SERVED BEFORE OFFSETTING HORIZONTALLY OR BEFORE BEING CONNECTED TO ANY OTHER VENT

ALL DRAINAGE WASTE AND VENT PIPE SHALL COMPLY WITH TABLE 703.2 CPC."

SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH MIXING VALVES PER SECTION 408.3 CPC."

MECHANICAL NOTES

1. EXHAUST AIR FANS SHALL PRODUCE A MINIMUM OF 5 AIR CHANGES PER HOUR. BACKDRAFT DAMPERS ARE REQUIRED AT FANS EXHAUSTING AIR FROM THE BUILDING. EXHAUST TERMINATION SHALL NOT BE WITHIN 3' OF ANY EXTERNAL OPENING.

2. ALL CLEARANCES FOR EQUIPMENT TO BE PER MANUFACTURER'S LISTINGS PER C.M.C.

3. ALL DUCT WORK SHALL COMPLY WITH C.M.C.

4. GAS VENTS AND NON-COMBUSTIBLE PIPING, IN WALLS, PASSING THROUGH THREE FLOORS OR LESS SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR OR CEILING. 5. DOORS AND WINDOWS SHALL BE FULLY WEATHERSTRIPPED. 6. OPENINGS TO EXTERIOR SHALL BE CAULKED AND SEALED, I.E. AROUND JOINTS IN WINDOWS, WALL SOLE PLATES, OPENINGS FOR UTILITY PIPING, AND WIRING, ETC.

7. MANUFACTURED DOORS AND WINDOWS SHALL MEET APPLICABLE ANSI OR NWMA STANDARDS AND BE SO LABELED.

8. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS. ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE AND 3 FEET FROM OPENING INTO THE BUILDING.

9. INSULATION FOR WATER HEATERS PER CA. ENERGY CODE REQUIREMENTS.

10. COMBUSTION AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH THE C.P.C.

11. DUCT TAPE, AS A MINIMUM, SHALL MEET THE REQUIREMENTS OF UL 181, 181A, AND 181B OR ADDITIONAL DUCT ATTACHMENT DEVICES SUCH AS TIE-WRAPS OR MASTIC WILL BE REQUIRED FOR INSTALLING MECHANICAL DUCTING.

12. R-6 <12" OF DUCTWORK LOCATED OUTSIDE OF CONDITIONED SPACE

13. EXHAUST DUCTS & DRYER VENT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS

14. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL

15. INDOOR AIR QUALITY FOR HOUSE TO BE MANAGED BY AN EXHAUST FAN IN THE BATHROOM. MUST BE AT LEAST 50 CFM USE LESS THAN 12.5 WATTS OF POWER, SOUND 16. RATING 1.0 ONES OR LESS, ON FULL TIME INTERMITTENTLY OPERATED (KITCHEN,BATH,ETC.) LOCAL EXHAUST FANS SHALL BE RATED AT 3.0 SONES OR LESS.


17. HOT WATER PIPING SHALL BE INSULATED. (CPC 609.11.150.0 (J) 2A)

MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:

1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.

2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 90 PERCENT."

EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS. ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE AND 3 FEET FROM OPENING INTO THE BUILDING.



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PROJECT NO: PRELIMINARY ☐ CD ☒

GUY MADAR
829 WALKFIELD CT.
EL CAJON CA.
A.P.N. 481-110-29-00

Title: **PROPOSED FLOOR PLAN**
DETACHED ADU

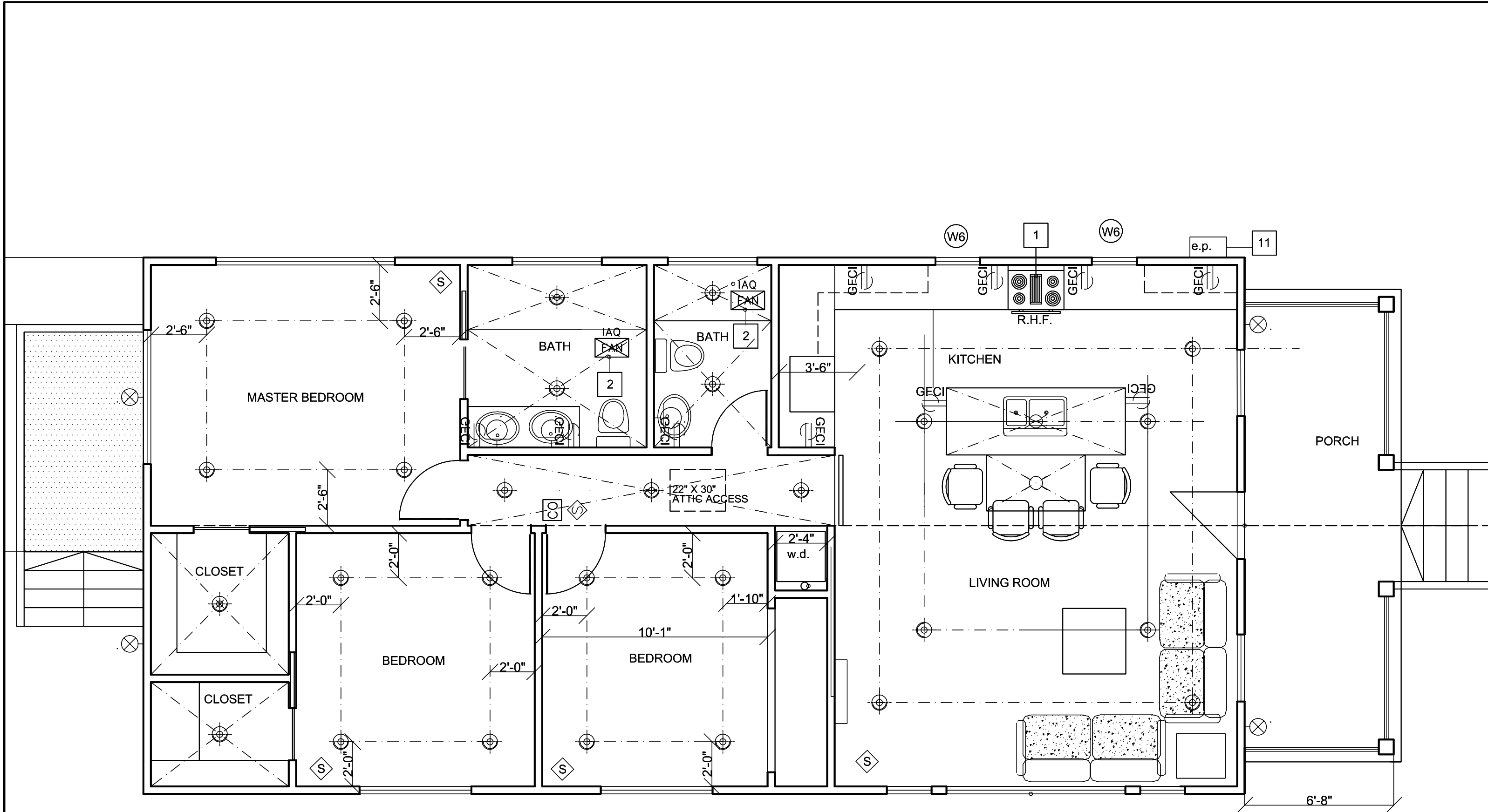


CALIFORNIA COUNCIL FOR CIVIL DESIGN
GUY MADAR
DESIGNATED INTERIOR DESIGNER
[CPD# 13121/22-07790]
[CPD# 13121/22-07790]

IL TOTAL DESIGN
RUMMY DECHNER
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Email: ItayArc@gmail.com
Tel: 818 424 5479
CID#:7204

DRAWN	RUMMY DECHNER
DATE	3.21.2020
SCALE	SCALE: 1/4"=1'-0"
JOB NO.	233-21
SHEET	

A2.1
OF SHEETS



ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND	
	4' LED WALL RECESSED LIGHT
	DUPLEX GFI RECEPTACLE
	WEATHER PROOF RECEPT
	TELEPHONE OUTLET
	DATA OUTLET
	EXIT FIXTURE, WALL MNT
	4' LED RECESSED LIGHT
	6' LED DOWNLIGHT WET RATING 3000 K
	LIGHT FIXTURE WITH FAN
	SWITCHES
	3-WAY
	DIMMER
	TV CABLE OUTLET
	SMOKE DETECTOR
	CARBON MONOXIDE ALARM
	INC WALL FIXTURE
	INC CEILING FIXTURE
	PENDANT
	DEMOLITION
	(E) WALL
	NEW WALL
	1HR FIRE RATED WALL SEPARATION WALL
	1HR FIRE RATED WALL
	DOOR ALARM
	IAQ FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
	KITCHEN RANGE HOOD FAN

ELECTRICAL NOTES

1. ALL OUTLETS IN BATHROOMS, COUNTER TOPS IN KITCHEN, GARAGES, AND BASEMENTS, INCLUDING ALL OUTLETS AT EXTERIOR EXPOSED TO THE ELEMENTS ARE REQUIRED TO BE GFCI (GROUND FAULT CIRCUIT INTERRUPTER), PER CA. ELEC. CODE. IN ADDITION, ALL OUTLETS EXPOSED TO THE ELEMENTS ARE ALSO TO BE WP (WEATHER-PROOF). REFER TO FOUNDATION PLAN FOR DIMENSIONED LOCATIONS OF ADDITIONAL FLOOR FLOOR OUTLETS, IF APPLICABLE.
2. ELECTRICAL RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH CA. ELEC. CODE.
3. LIGHTING OUTLETS CONTROLLED BY A SWITCH SHALL BE PROVIDED IN ACCORDANCE WITH CA. ELEC. CODE.
4. LIGHT FIXTURES INSTALLED IN CLOTHES CLOSETS SHALL COMPLY PER CA. ELEC. CODE.
5. THE AMPERAGE OF ELECTRICAL SERVICE FOR THIS PROJECT IS _____ AMPS AND IS A REQUIRED MINIMUM OF 100 AMP SERVICE. SEE PLAN FOR LOCATION OF ELECTRICAL SERVICE AND SUB PANELS.
6. LIGHTING: GENERAL LIGHTING IN KITCHEN, BATHROOMS, MUST PROVIDE 40 LUMENS PER WATT OF MORE (E.G. FLUORESCENT, LED). EXCEPTIONS: KITCHEN COUNTER OR SINK, DINING TABLE, AND / OR BATHROOM MIRROR LUMINAIRES WHICH ARE THE ONLY LIGHTING.
7. ALL LIGHTS LOCATED IN TUBS AND SHOWERS SHALL BE U.L. LISTED FOR WET AREAS.
8. ALL RECESSED LIGHT FIXTURES IN CONTACT W/ INSULATION SHALL BE "I.C. RATED" PER CA. ELEC. CODE.
9. FOR A SINGLE-FAMILY DWELLING UNIT, PROVIDE AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL WHICH WILL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF THE DWELLING PER CA. ELEC. CODE. THIS RECEPTACLE MUST BE GFCI PROTECTED.
10. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF (1) 20AMP BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN 1 BATHROOM PER CA. ELEC. CODE.
11. EXTERIOR WALL MOUNTED FIXTURES SHALL BE MOUNTED AT 6'-8" A.F.F.
12. PROVIDE 20 AMP CIRCUITS AT KITCHEN, NOOK, AND DINING ROOM PER CA. ELEC. CODE.
13. PROVIDE 2-GANG MUD RING ON INSIDE WALL OF GARAGE FOR ACCESS TO UPFR GROUND CLAMP.
14. ALL 125 VOLT, 15-AND 20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES IN ALL AREAS SPECIFIED IN THE CALIFORNIA ELECTRICAL CODE SECTION 210.52
15. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE 15&20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT ROOMS (BEDROOMS, LIVING RM, FAMILY, DEN, ETC.) SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS.
16. CARBON MONOXIDE DETECTORS SHALL BE COMPLIANT WITH UL 2075
17. HARD WIRE, ALARM AUDIBLE SMOKE ALARMS ARE REQUIRED FOR SLEEPING ROOMS AND OUTSIDE OF SLEEPING ROOMS.
18. ALL SMOKE ALARMS INCLUDING COMBINATION SMOKE ALARMS, THAT ARE SOLELY BATTERY POWERED SHALL CONTAIN A NON REPLACEABLE NON-REMOVABLE BATTERY THAT IS CAPABLE OF POWERING THE SMOKE ALARM FOR AT LEAST 10 YEARS

EXTRA DUTY*OUTLET WATER PROOF, 120 VOLT RECEPTACLE GFCI

OUTDOOR OUTLETS SHALL BE WATER PROOF AND SHALL BE IDENTIFIED AS "EXTRA DUTY," CEC 406.9 (B)

PROVIDE G.F.I. PROTECTION TO ALL 120 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED OUTDOORS, IN BATHROOMS & BATHING AREAS, WITHIN 6 FEET OF THE OUTER EDGE OF THE SINK, LAUNDRY AREAS, NONCONDITION SPACE, AND DISHWASHER OUTLET, [CEC 210.8(A) & (D)]

PROVIDE AT LEAST ONE OUTSIDE WEATHERPROOF GFI 120- VOLT RECEPTACLE AT FRONT AND BACK OF DWELLING UNIT,[CEC 210-52(E)(1), 406.8(A)(8)]

120-VOLT, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN THE KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER (AFCI), [CEC 210.12(A)]

WHERE OUTLETS ARE REQUIRED TO HAVE BOTH AFIC AND GFCI PROTECTION, DUAL PROTECTION IS REQUIRED.

A RECEPTACLE OUTLET MUST BE INSTALLED IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, SUNROOM, PARLOR, LIBRARY, DEN, BEDROOM, RECREATION ROOM, AND SIMILAR ROOM OR AREA SO THAT NO POINT ALONG THE WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY ALONG THE FLOOR LINE, FROM A RECEPTACLE OUTLET CEC 210.52(A)

EXTRA DUTY*OUTLET WATER PROOF, 120 VOLT RECEPTACLE GFCI

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ELECTRICAL

NOTE: OUTDOOR OUTLETS SHALL BE WATER PROOF AND SHALL BE IDENTIFIED AS "EXTRA DUTY," CEC 406.9 (B)

PROVIDE G.F.I. PROTECTION TO ALL 120 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED OUTDOORS, IN BATHROOMS & BATHING AREAS, WITHIN 6 FEET OF THE OUTER EDGE OF THE SINK, LAUNDRY AREAS, NON CONDITION SPACE, AND DISHWASHER OUTLET, [CEC 210.8(A) & (D)]

PROVIDE AT LEAST ONE OUTSIDE WEATHERPROOF GFI 120- VOLT RECEPTACLE AT FRONT AND BACK OF DWELLING UNIT, [CEC 210-52(E)(1), 406.8(A)(8)]

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WHERE OUTLETS ARE REQUIRED TO HAVE BOTH AFIC AND GFCI PROTECTION, DUAL PROTECTION IS REQUIRED.

LIGHTING

INDOOR LIGTHING ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER

OUTDOOR LIGTHING ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED ONE OF THESE AUTOMATIC CONTROL TYPES: PHOTO CONTROL AND A MOTION SENSOR OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM(EMCS)

LIGHT AT NEW EXTERIOR EXITS. PROVIDE AN EXTERIOR LIGHT AT NEW EXTERIOR EXITS. FOR DWELLING UNITS, ATTACHED GARAGES WITH ELECTRIC POWER, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS. A VEHICLE DOOR IN A GARAGE SHALL NOT BE CONSIDERED AS AN OUTDOOR ENTRANCE OR EXIT. EXCEPTION: REMOTE, CENTRAL, OR AUTOMATIC CONTROL OF LIGHTING SHALL BE PERMITTED.

KITCHEN ALL THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER, UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM THE GENERAL LIGHTING, 150.0 (K)

OTHER ROOMS OTHER ROOMS : ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.

BATHROOM

LIGHTING IN BATHROOM SHALL HAVE ALL HIGH EFFICACY LUMINAIRES AND AT LEAST ONE LUMINAIRES MUST BE CONTROLLED BY A VACANCY SENSOR.

LIGHTING NOTES

ALL HIGH-EFFICACY LIGHTING MUST BE CONTROLLED SEPARATELY. BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS.

ALL LUMINAIRES SHALL BE HIGH-EFFICACY AND SHALL BE CONTROLLED BY A VACANCY SENSOR SENSOR

ALL LUMINAIRES MOUNTED TO THE BUILDING OR ON OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH-EFFICACY OR CONTROLLED BY MOTION SENSOR AND CONTROLLED BY ONE OF THESE: PHOTO CONTROL OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM. (EMCS)

150.0(K)1E, 1 OTHER LIGHTING APPLICATIONS • NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS GREATER THAN 5 WATTS OR 150 LUMENS • O MEET TABLE 150.0-A; AND • O CONTROLLED BY VACANCY SENSOR • LIGHT SOURCES INTERNAL TO DRAWERS, CABINETS, OR LINEN CLOSETS GREATER THAN 5 WATTS OR 150 LUMENS OR NOT CONTROLLED TO AUTOMATICALLY TURN OFF WHEN CLOSED • O MEET TABLE 150.0-A; AND • O CONTROLLED BY A VACANCY SENSOR

150.0(K)2 INTERIOR LIGHTING CONTROLS CONTROL TYPES REQUIREMENTS LED DIMMERS ALL FORWARD PHASE CUT DIMMERS MUST COMPLY WITH NEMA SSL 7A EXHAUST FANS & LIGHTING EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS MANUAL ON/OFF ALL LIGHTS MUST HAVE READILY ACCESSIBLE MANUAL ON/OFF CONTROL. NO BYPASS NO CONTROL SHALL BYPASS A DIMMER, OCCUPANT, OR VACANCY SENSOR UNDER-CABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING

150.0(K)2 INTERIOR LIGHTING CONTROLS CONT. • BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOM • O AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY • LUMINAIRES THAT ARE, OR CONTAIN LIGHT SOURCES THAT MEET JA8 REQUIREMENTS, AND ARE NOT CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR MUST HAVE DIMMING CONTROLS O EXCEPTION: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET O EXCEPTION: LUMINAIRES IN HALLWAYS

2019 ENERGY CODE – RESIDENTIAL LIGHTING CALIFORNIA ENERGY COMMISSION RESIDENTIAL LIGHTING MEASURES

150.0(K)1A LUMINAIRE EFFICACY • ALL LUMINAIRES OR LIGHT SOURCES MUST BE HIGH EFFICACY • LUMINAIRE EFFICACY DETERMINED BY TABLE 150.0-A • O HIGH EFFICACY BY SOURCE TYPES; OR • O CERTIFIED TO REFERENCE JOINT APPENDIX JA8 • MAY BE CERTIFIED TO JA8 2016 OR 2019

150.0(K)1A LUMINAIRE EFFICACY CONT. HIGH EFFICACY LIGHT SOURCES HIGH EFFICACY LIGHT SOURCES MUST BE JA8 CERTIFIED PIN-BASED LINEAR FLUORESCENT OR COMPACT FLUORESCENT LIGHT SOURCES USING ELECTRONIC BALLASTS LIGHT SOURCES INSTALLED IN CEILING RECESSED DOWNLIGHTS PULSE-START METAL HALIDE LIGHT SOURCES LAMPS AND SEPARABLE LIGHT SOURCES INSTALLED IN ENCLOSED LUMINAIRES HIGH PRESSURE SODIUM LIGHT SOURCES SCREW-BASE LAMPS LUMINAIRES WITH HARDWIRED HIGH FREQUENCY GENERATOR AND INDUCTION LAMP LIGHT SOURCES NOT OTHERWISE LISTED IN TABLE 150.0-A • LED LIGHT SOURCES INSTALLED OUTDOORS INSEPARABLE SSL LUMINAIRES CONTAINING COLORED LIGHT SOURCES THAT ARE INSTALLED TO PROVIDE DECORATIVE LIGHTING

REFERENCE JOINT APPENDIX JA8 REQUIREMENTS JA8-2019 REQUIREMENTS CATEGORY REQUIREMENTS COLOR RENDERING INDEX (CRI) ≥ 90 LUMINOUS EFFICACY ≥ 45 LUMENS PER WATT POWER FACTOR ≥ 0.90 AT FULL OUTPUT START TIME TURN ON WITHIN 0.5S CORRELATED COLOR TEMPERATURE (CCT) ≤ 4000K

REFERENCE JOINT APPENDIX JA8 REQUIREMENTS JA8-2019 REQUIREMENTS CATEGORY REQUIREMENTS R9 ≥ 50 RATED LIFE ≥ 15,000 HOURS MINIMUM DIMMING LEVELS ≤ 10% FLICKER < 30% FOR FREQUENCIES OF 200 HZ OR BELOW AUDIBLE NOISE < 24 DBA AT 1 METER FROM LIGHT SOURCE MARKING JA8-2019 OR JA8-2019-E

150.0(K)1B BLANK ELECTRICAL BOXES • BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FLOOR • O LIMITED TO THE TOTAL NUMBER OF BEDROOMS • O MUST BE SERVED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL

150.0(K)1C RECESSED DOWNLIGHTS • INSULATION CONTACT (IC) AND AIR TIGHT (AT) LISTED • GASKETED AND SEALED • ALLOW BALLAST OR DRIVER MAINTENANCE FROM BELOW CEILING • CANNOT HAVE A SCREW BASE SOCKET • MUST UTILIZE A JA8 LIGHT SOURCE

150.0(K)1D ELECTRONIC BALLASTS • BALLASTS FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER • O ELECTRONIC; AND • O OUTPUT FREQUENCY ≥ 20KHZ

150.0(K)1F LIGHTING INTEGRAL TO EXHAUST FANS • LIGHTING INTEGRAL TO EXHAUST FANS MUST MEET ALL APPLICABLE LIGHTING REQUIREMENTS • EXCEPTION: LIGHTING INSTALLED BY THE MANUFACTURER IN KITCHEN EXHAUST HOODS

150.0(K)1E, 1 OTHER LIGHTING APPLICATIONS • NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS GREATER THAN 5 WATTS OR 150 LUMENS • O MEET TABLE 150.0-A; AND • O CONTROLLED BY VACANCY SENSOR • LIGHT SOURCES INTERNAL TO DRAWERS, CABINETS, OR LINEN CLOSETS GREATER THAN 5 WATTS OR 150 LUMENS OR NOT CONTROLLED TO AUTOMATICALLY TURN OFF WHEN CLOSED • O MEET TABLE 150.0-A; AND • O CONTROLLED BY A VACANCY SENSOR

150.0(K)1G SCREW BASE LUMINAIRES • SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS • SHALL CONTAIN LAMPS THAT COMPLY WITH JA8 • LAMPS SHALL BE MARKED WITH "JA8-2019" OR "JA8-2019-E" (OR 2016 MARKING) • EXCEPTION: LUMINAIRES WITH HARDWIRED BALLASTS FOR HIGH INTENSITY DISCHARGE LAMPS (HID)

150.0(K)1H ENCLOSED AND RECESSED LUMINAIRES • LAMPS AND SEPARABLE LIGHT SOURCES • O MUST COMPLY WITH JA8 ELEVATED TEMPERATURE REQUIREMENTS • O MARKED "JA8-2019-E" (OR JA8-2016-E) • INDOOR AND OUTDOOR • ENCLOSED LUMINAIRE: VENTILATION OPENING < 3 IN2 PER LAMP

100.1 LIGHTING CONTROL DEFINITIONS LIGHTING CONTROL TYPE WHAT DOES IT DO? DIMMER • VARIES LUMINOUS FLUX OF ELECTRIC LIGHTING SYSTEM BY CHANGING POWER DELIVERED TO THE SYSTEM OCCUPANT SENSOR (INDOOR AND OUTDOOR) • AUTO-OFF AFTER 20 MINUTES • AUTO-ON BASED ON OCCUPANCY (MOTION) VACANCY SENSOR • AUTO-OFF AFTER 20 MINUTES • MANUAL-ON PHOTO CONTROL • AUTO-ON/OFF BASED ON AVAILABLE DAYLIGHT ASTRONOMICAL TIME-SWITCH CONTROL (OUTDOOR) • CONTROLS LIGHT BASED ON TIME OF DAY • BASED ON ASTRONOMICAL EVENTS LIKE SUNSET, SUNRISE • ACCOUNTS FOR GEOGRAPHIC LOCATION & CALENDAR DATE



Creative Design & Build San Diego CA

CONSTRUCTION
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All dimensions designations given are subject
to verification on job site and adjustment
to fit job conditions.

PROJECT NO:

PRELIMINARY

CD

GUY MADAR
829 WALKFIELD CT.
EL CAJON CA.

A.P.N. 481-110-29-00

Title

ELECTRICAL
DETACHED ADU



IL TOTAL DESIGN
RUMMY DECHNER
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DRAWN RUMMY DECHNER

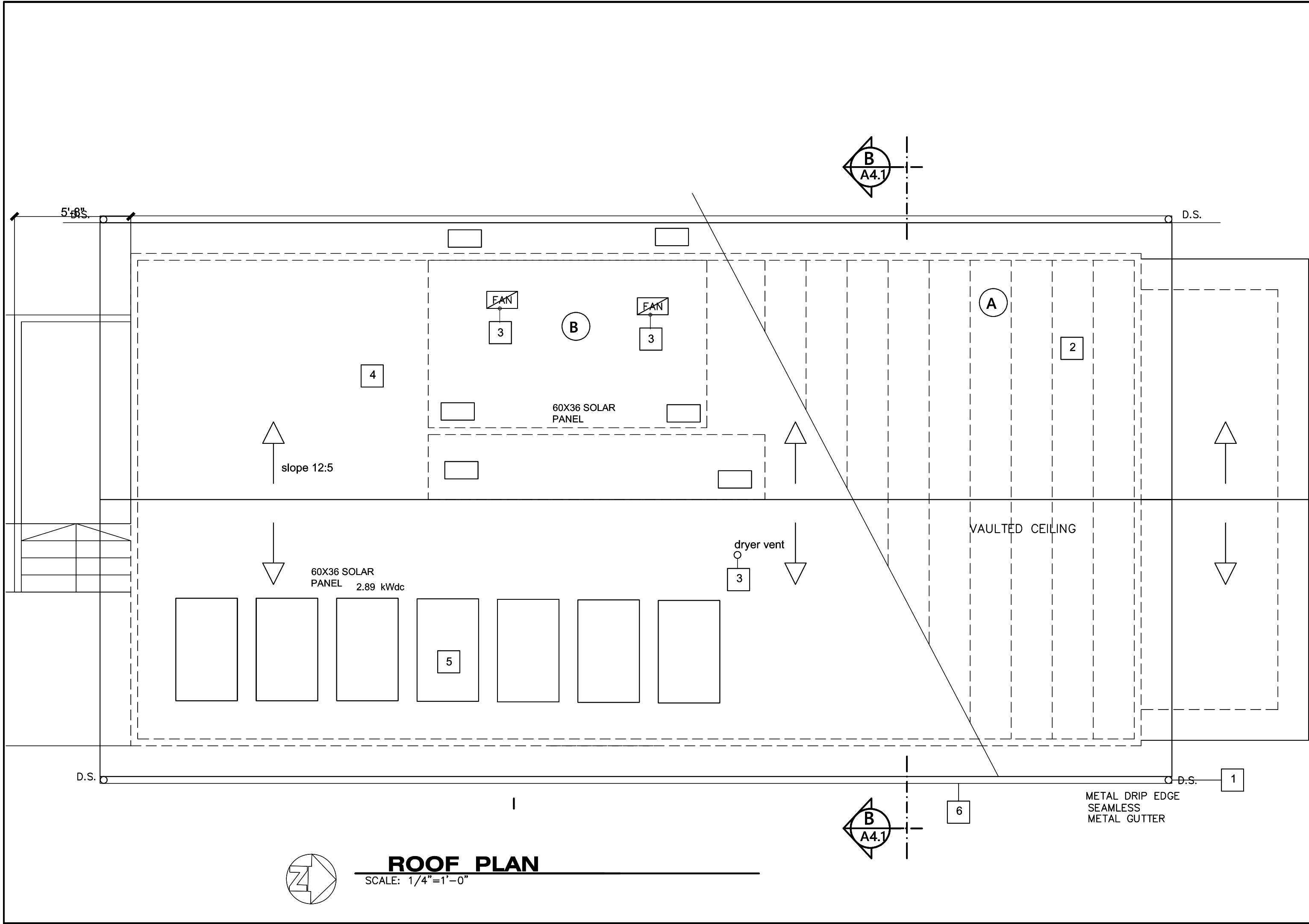
DATE 3.21.2020

SCALE SCALE: 1/4"=1'-0"

JOB NO. 233-21

SHEET

A2.2
OF SHEETS



ROOF PLAN NOTES	
PROVIDE MINIMUM 26 GA. GALV. METAL FLASHING AT ALL DECK TO WALL CONDITIONS- ALL EXPOSED METAL FLASHING SHALL BE BONDORIZED OR ACID ETCHED TO ACCEPT PAINT FINISH AND PROVIDE PROPER ADHESION TO TRAFFIC COATING.	
ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (CRC R327.5.4)	
0. DRIP EDGE FLASING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE	
ATTIC VENTILATION NOTES	
ROOF AND ATTIC VENT OPENINGS SHALL BE PROTECTED BY NON-COMBUSTIBLE, CORROSION RESISTANT MESH WITH OPENINGS OF THE DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16-INCH AND SHALL NOT EXCEED 1/8-INCH	
INDIVIDUAL VENT OPENINGS SHALL NOT EXCEED 144 SQUARE INCHES	
THE TOTAL ATTIC VENT SPACE NEEDED: ONE SQUARE FOOT OF VENT SPACE FOR EVERY 150 SQUARE FEET OF ATTIC AREA. HALF THE VENTS SHOULD BE LOCATED IN THE SOFFIT AT THE BOTTOM OF THE ROOF AND HALF IN GABLE OR RIDGE VENTS NEAR THE TOP TO ALLOW FOR NATURAL CIRCULATION OF AIR THROUGH THE ATTIC.	
VENTED AREA CALCULATION	
ONE ENCLOSED RAFTER SPACE: 47 SQ.FT. MINIMUM VENTILATION REQUIREMENTS 23 SQ.IN EXHAUST NFVA 23 SQ.IN INTAKE NFVA	
AREA ATTIC: 168 SQ. FT. MINIMUM VENTILATION REQUIREMENTS 81 SQ.IN EXHAUST NFVA 81 SQ.IN INTAKE NFVA	

1	ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED WITH NON-COMBUSTIBLE MATERIALS.
2	VENT BUFILE MAINTAIN 1" MIN COUNT AIR SPACE UNDER ROOF SHEATHING.
3	EXHAUST DUCTS SHOULD BE TERMINATED IN A DAMPERED WALL CAP TO PREVENT BACK DRAFTS, BIRD NESTING, ETC.THE WALL CAP MUST ALSO BE LOCATED AT LEAST 12" ABOVE THE GROUND OR ANY OTHER OBSTRUCTION WITH THE OPENING POINTED DOWN.
4	CLASS 'A' COMP. SHINGLE ROOF MANUFACTURER: OWENS CORNING DURATION PREMIUM COOL ROOF UL Evaluation Report UL ER2453-02 PRI ER 1378E01 Fire Classification: OWENS CORNING asphalt shingles covered under this Report have been tested for fire classification Class A in accordance with UL790 (ASTM E108). Shingles tested in accordance with UL790 (ASTM E108) qualify for use under Section 1505.1 of the 2012, 2009 and 2006 IRC and Section R902.1 of the 2012, 2009 and 2006 IRC.
5	PER TITLE 24 2 SOLAR PANEL 36"x60" REQUIRED PV SYSTEMS 2.89 KWdc
6	504.3 Protection of Eaves Eaves and soffits shall be protected on the exposed underside by ignition-resistant materials or by materials approved for a minimum of 1-hour fire-resistance-rated construction, 2-inch (51 mm) nominal dimension lumber, or 1-inch (25.4 mm) nominal fire-retardant-treated lumber or 3/4-inch (19 mm) nominal fire-retardant-treated plywood, identified for exterior use and meeting the requirements of Section 2303.2 of the International Building Code. Fascias are required and shall be protected on the backside by ignition-resistant materials or by materials approved for a minimum of 1-hour fire-resistance-rated construction or 2-inch (51 mm) nominal dimension lumber. 504.4 Gutters and Downspouts Gutters and downspouts shall be constructed of noncombustible material. Gutters shall be provided with an approved means to prevent the accumulation of leaves and debris in the gutter. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/16" MINIMUM TO 1/4" MAXIMUM OPENINGS. SECTION R806.1.

Residential Kitchen Remodel Checklist

All residential remodels shall comply with the following applicable codes:

2019 California Residential Code 2019 California Mechanical Code	2019 California Electrical Code 2019 California Energy Code	2019 California Plumbing Code 2019 California Green Building Standards
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Checklist for Kitchen Remodels

ELECTRICAL

- Receptacle outlets serving countertops in kitchens of dwelling units to be GFCI protected. [CEC 210.8(A) (6)]
- New and modified 125volt, 15-ampere and 20-ampere receptacles shall be listed tamper resistant receptacle. [CEC 406.12]
- New and modified branch wiring circuits shall have Arc-fault circuit protection for 120-volt, single phase, 15 and 20- ampere branch circuits. [CEC 210.12(A)]
- A receptacle outlet shall be installed at each wall counter space 12 inches or wider. Receptacle outlets shall be installed so that no point along the wall is more than 24 inches measured horizontally from a receptacle outlet in the space. [CEC 210.52 (C) (1)]
- At least one receptacle outlet shall be installed at each island counter space with a long dimension of 24 inches or greater and a short dimension of 12 inches or greater. [CEC 210.52(C) (2)]
- At least one receptacle outlet shall be installed at each peninsula counter space with a long dimension of 24 inches or greater and a short dimension of 12 inches or greater. A peninsular counter top is

- measured from the connecting edge. [CEC 210.52(C) (3)]
- Counter spaces separated by range tops, refrigerators, or sinks shall be considered as separate counter spaces in applying the requirements of CEC 210.52 (C) (1) (2) (3). [CEC 210.52(C) (4)]
- Counter top receptacle outlet location: receptacle outlets shall be located not more than 20 inches above the countertop. Receptacle outlets shall not be installed in a face up position in the work surfaces or countertops. Receptacle outlets rendered not readily accessible by appliances fastened in place, appliance garages, sinks, or range tops as covered in 210.52(C)(1). Exception, or appliances occupying dedicated space shall not be considered as these required outlets. [CEC 210.52 (B) (5)]
- Two small appliance outlet circuits, 20 amps each, are required for kitchens. Circuits shall be balanced and have no other outlets. [CEC 210.52 (B)(1), (2)]
- Individual dedicated circuits are required for all major appliances. [CEC 210.11(C) (1) & 422.10(A)]
- The garbage disposal cord and plug shall be connected with a flexible cord 18" to 36" long. [CEC

422.16 (B)(1)]

- The dishwasher cord shall be 36" to 48" long. [CEC 422.16(B)(2)]
- Provide a minimum 15-amp circuit for the dishwasher and a 15-amp circuit for the garbage disposal. [CEC 210.23(A)]
- Provide a dedicated circuit for the kitchen hood. [CEC 210.52 (B) (2)]
- When using a split outlet (two circuits on the same yoke) for dishwasher/disposal, provide a listed handle tie at the two circuit breakers at the panel. [CEC 210.7]
- All new luminaires shall be high efficacy; either listed by source type or by being JA8-2016 certified and labeled.

- Screw based luminaires shall meet all of the following:

- The luminaires shall not be recessed downlight luminaires in ceilings; and
- The luminaires shall contain lamps that comply with Reference Joint Appendix JA8; and
- The installed lamps shall be marked with JA8-2016 or JA8-2016-E

- Range hoods shall be permitted to be cord-and-plug connect when the cord is terminated with grounding type, not less than 18 inches and not over 36", the receptacle is accessible and supplied by an individual branch circuit. [CEC 422.16 (B) (4)]

- Recessed light fixtures in insulated ceilings shall be an approved, listed, zero-clearance insulation cover (IC) type, Certified Air Tight (ASTM E283), and sealed with a gasket, or caulked between the housing and ceiling, and shall be certified to comply with Section 110.9 and allow ballast maintenance and replacement to be readily accessible to building occupants from below. [CEnC 150.0(k)1C]

- Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in CEnC 150.0(k)1C. A

valve shall be installed upstream of the connector. A union or flanged connection shall be provided downstream from this valve to permit removal of controls. [CPC 1211.5]

- No domestic dishwashing machine shall be directly connected to a drainage system or food waste disposer without the use of an approved dishwasher air-gap fitting on the discharge side of the dishwashing machine. Listed air-gaps shall be installed with the flood-level (FL) marking at or above the flood level of the sink or drain board, whichever is higher. [CPC 807.4]

SMOKE & CARBON MONOXIDE ALARMS

- Smoke alarms shall be installed in the following areas: [R314]

- In each sleeping room.
- Outside of each separate sleeping area in the immediate vicinity of the bedrooms
- On each additional story of the dwelling, including basements and habitable attics, but not including crawl spaces and uninhabitable attics.

- Smoke alarms shall be interconnected hard-wired with battery backup.
- Battery-powered smoke alarms are permitted in existing buildings where no construction is taking place.

- approved carbon monoxide alarms shall be installed in the following areas: [R315.1]

- Outside of each separate sleeping area in the immediate vicinity of the bedrooms
- On every level of a dwelling unit including basements

- Carbon monoxide alarms shall be interconnected hard-wired with battery backup.

- Battery-operated carbon monoxide alarms are permitted in existing dwelling units where no construction is taking place.

JA8-2016-E light source, rated for elevated temperature, must be installed by final inspection in all recessed ceiling downlight luminaires.

- Exhaust fans and under cabinet lighting shall be switched separately from lighting system. [CEnC 150.0(k)2B]

- Blank electrical boxes. All unused electrical boxes mounted above 5 feet from the finished floor shall be no more than the number of bedrooms and shall be served by dimmer or vacancy sensor control, or fan speed control. [CEnC 150.0(k)1B]

- For occupancies with a horizontal rated separation (floor/ceiling assembly), the recessed fixtures shall be protected to the rating of the separation (1 hour) or be listed to the required protection.

MECHANICAL

- In the kitchen, the local exhaust system vented to outdoors shall have a minimum exhaust rate of 100 cfm. [CEnC 150(o)]

- A metal, smooth interior surface duct and back draft damper is required on vent hoods or down draft exhaust vents. Aluminum flex duct is not approved. [CMC 504.3]

- Upper wall cabinets shall be a minimum of 30 inches above cooking surfaces or an exhaust hood shall be installed per the manufacturer's requirements with clearances as required by the range/cook top manufacturer's installation instructions. Provide minimum clearances to combustible materials per [CMC 916.1.2]

PLUMBING

- Faucets at kitchens shall not have a flow rate of greater than 1.8 gpm at 60 psi.

- Gas lines that run under a slab shall run through an approved, vented, gas tight conduit. [CPC 1211.1.6]

- An accessible, approved manual shutoff valve with a non-displaceable valve member, or a listed gas convenience outlet installed within six (6) feet of the appliance it serves. Where a connector is used, the

SECTION 4.303.1 WATER REDUCTION FIXTURE FLOW RATES	
FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE
Showerheads	1.8 gpm @ 80 psi
Lavatory faucets, residential	1.2 gpm @ 60 psi ^{1,2}
Lavatory faucets, nonresidential	0.4 gpm @ 60 psi ^{1,2}
Kitchen faucets	1.5 gpm @ 60 psi ^{2,4}
Metering Faucets	0.2 gallons/cycle
Gravity tank type water closets	1.28 gallons/flush ³
Flushometer tank water closets	1.28 gallons/flush ³
Flushometer valve water closets	1.28 gallons/flush ³
Urinals	0.125 gallons/flush
Clothes Washers	ENERGY-STAR certified
Dishwashers	ENERGY-STAR certified

¹Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi.
²Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2 gpm @ 60psi and must deliver a maximum flow rate of 1.8 gpm @ 60psi.
³Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
⁴Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.28 gallons/flush installed throughout.

³ Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.
Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.2.2.2.
Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flush and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2.2 and ASME A112.19.14.

2019 California Residential Code 2019 California Plumbing Code 2019 California Energy Code	2019 California Electrical Code 2019 California Mechanical Code 2019 California Green Building Standards
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Checklist for Bathroom Remodels

ELECTRICAL

- At least one receptacle outlet shall be installed in bathroom within 3'-0" from basin. At least one 20-ampere branch circuit shall be provided to supply bathroom receptacle outlet(s). **Bathroom outlets shall have GFCI protection.** [CEC 210.52(D), 210.11(C)(3) & 210.8(A)(1)]

- New and modified branch wiring circuits shall have Arc-fault circuit protection for 120-volt, single phase, 15 and 20- ampere branch circuits. [CEC 210.12(A)]

- Light fixture(s) in shower enclosure area shall be listed for damp areas or listed for wet locations. [CEC 410.10(D)]

- All new luminaires shall be high efficacy; either listed by source type or by being JA8-2016 certified and labeled.

- A minimum of one luminaire shall be installed in each bathroom controlled by a vacancy sensor.

- Exhaust fans shall be switched separately from lighting system. [CEnC 150.0(k)2B]

- Luminaires recessed into ceilings must meet all

- A bath exhaust fan, with back draft damper and humidity control, is required regardless of the presence of a window (room containing a bathtub, shower, spa or other similar source of moisture). [CRC R303.3]

- Exhaust must vent to outdoor in an approved duct. Terminate the outlet a minimum of 3 feet from an opening or property line. [CMC 504.5]

- Mechanical and gravity outdoor air intake openings shall be located a minimum of 10 feet from any plumbing vents and such opening shall be located a minimum of 3 feet below the contaminant source. [CRC R303.5]

- Fan and duct openings (environmental air ducts) shall terminate at least three (3) feet from property lines or openings into the building with back draft damper. [CMC 504.1, 504.5]

- Plumbing vents within ten (10) feet of operable skylights shall extend a minimum of three (3) feet above such openings. [CPC 906.2]

PLUMBING

- Bathrooms shall have a minimum ceiling height of 7 feet except at the center of the front clearance area for fixtures and at showers the ceiling height may be 6 feet 8 inches. [CRC R305.1 and R305.1 Exception 2]

- When additional water closets (toilets) are installed, a maximum of 3 water closets are allowed on a 3" waste line.[CPC Table 703.2]

- Provide safety glazing in walls enclosing tubs/showers where the bottom exposed edge of the glazing is less than 60" above a standing surface and drain inlet. [CRC R308.4.5]

- Showers and tub shower combinations shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance and thermostatic types that provide scald and thermal shock protection. [CPC

- Provide 24" minimum clear space in front of fixture. [CPC 402.5]

- In no case shall any shower receptor threshold be less than two (2) inches or exceeding nine (9) inches in depth when measured from the top of the threshold to the top of the drain. [CPC 408.5]

- The finished floor slope at shower receptor is min. 1/4" and max. 1/2" per foot. [CPC 408.5]

- New shower compartments shall have a finished interior of 1,024 square inches (7.1 square feet) and shall be capable of encompassing a 30 inch circle. The clearance shall be maintained up to 70 inches of height above shower drain. Shower door to be tempered, and provide a min 22" clear unobstructed opening. [CPC 408.6]

- Whirlpool (Spa) bathtubs shall have a readily accessible access panel [CPC 409.6]. The Circulation pump shall be located above the crown weir of the trap [CPC 409.6]. The pump and the circulation piping shall be self-draining to minimize water retention in accordance with standards referenced in Table 14-1. [CPC 409.6]

SMOKE & CARBON MONOXIDE ALARMS

- Smoke alarms shall be installed in the following areas: [R314]

- In each sleeping room.
- Outside of each separate sleeping area in the immediate vicinity of the bedrooms

- On each additional story of the dwelling, including basements and habitable attics, but not including crawl spaces and uninhabitable attics.

- Smoke alarms shall be interconnected hard-wired with battery backup."



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PROJECT NO:

PRELIMINARY

CD

GUY MADAR
829 WALKFIELD CT.
EL CAJON CA.

A.P.N. 481-110-29-00

Title

ROOF PLAN
DETACHED ADU



IL TOTAL DESIGN
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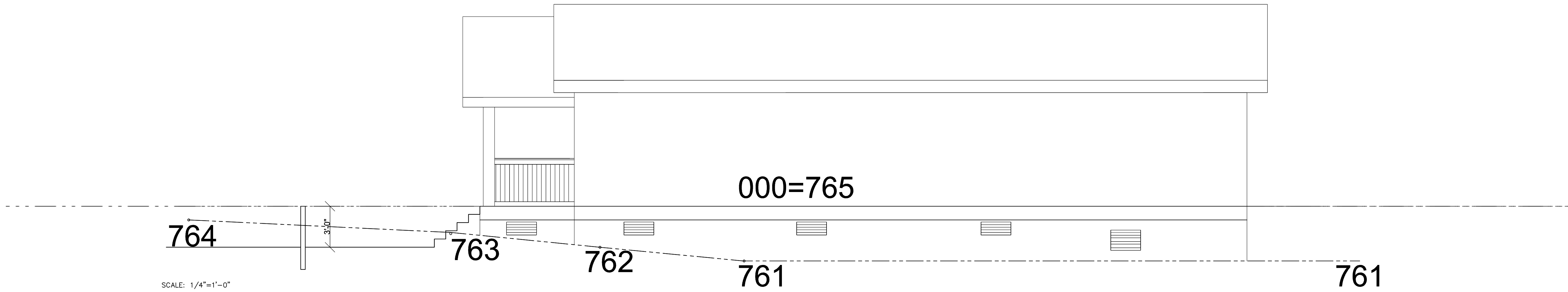
DATE 3.21.2020

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JOB NO. 233-21

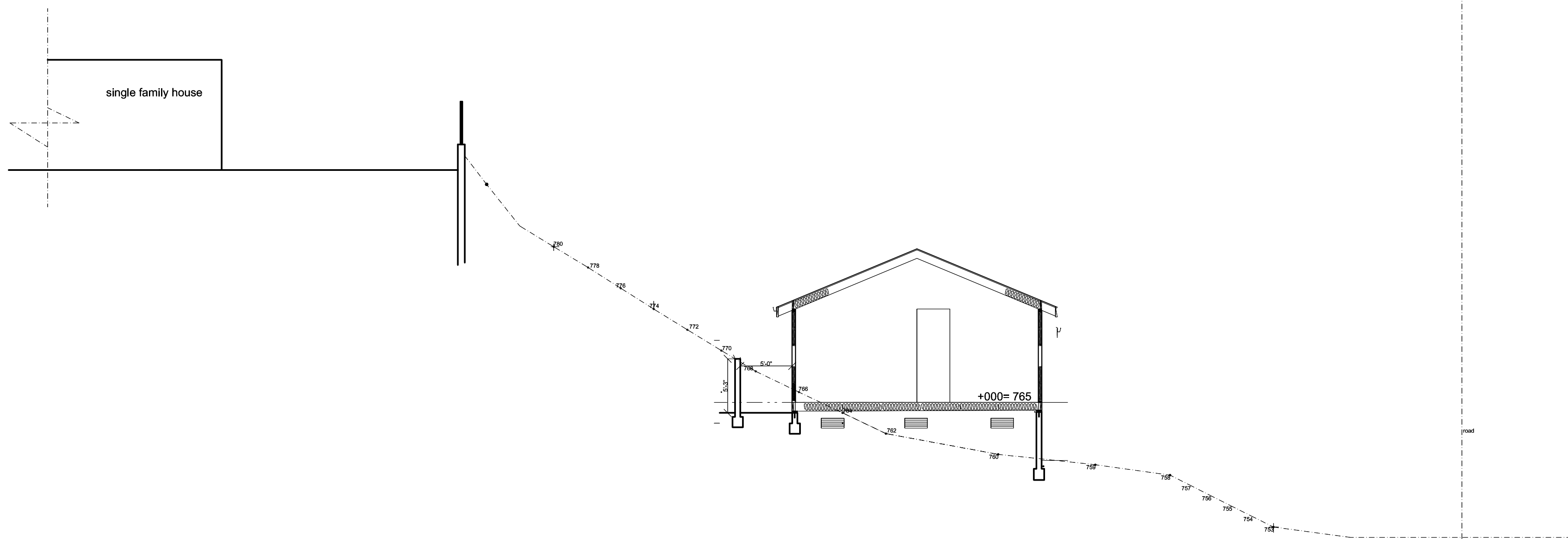
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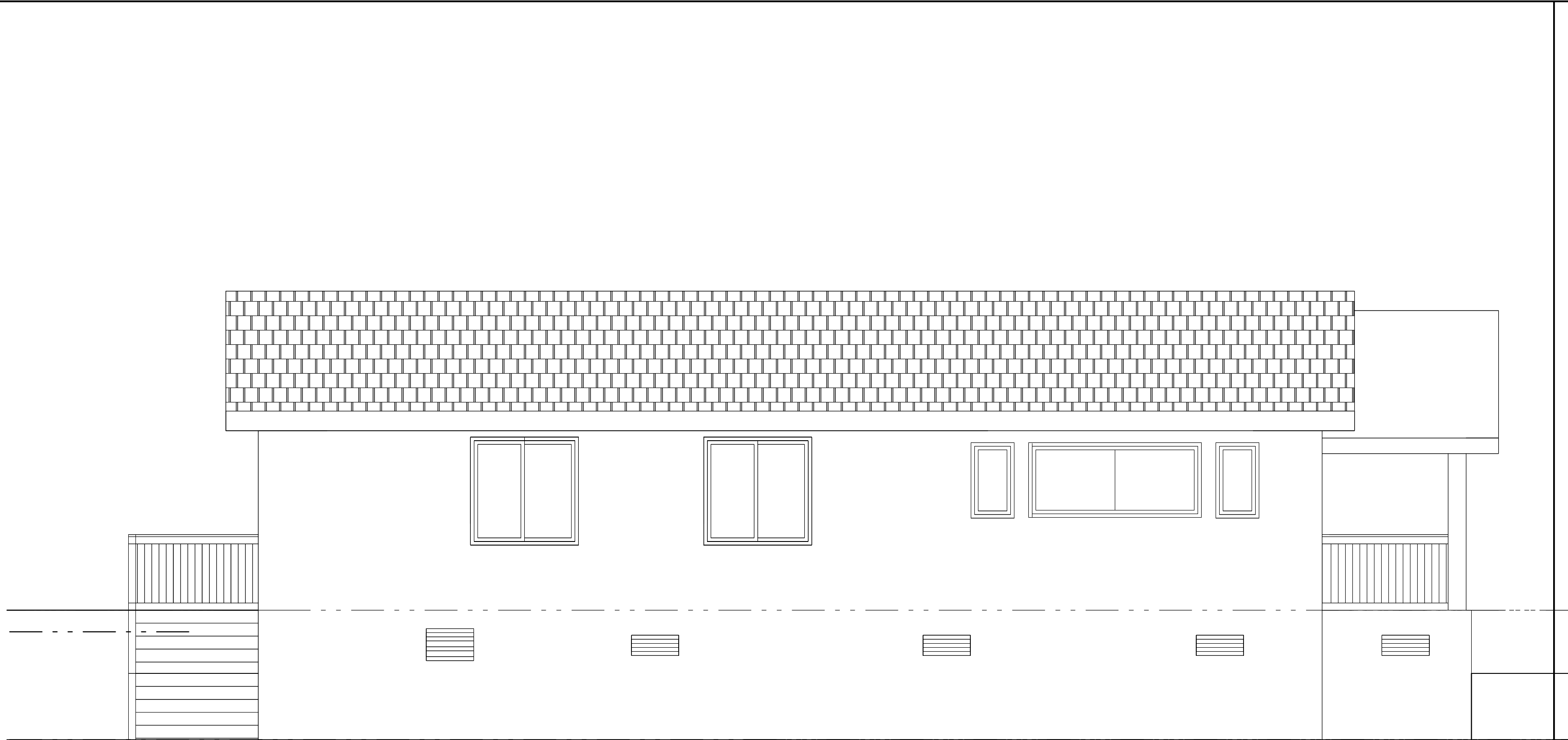
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OF SHEETS



SECTION A-A

SCALE: 1/4"=1'-0"





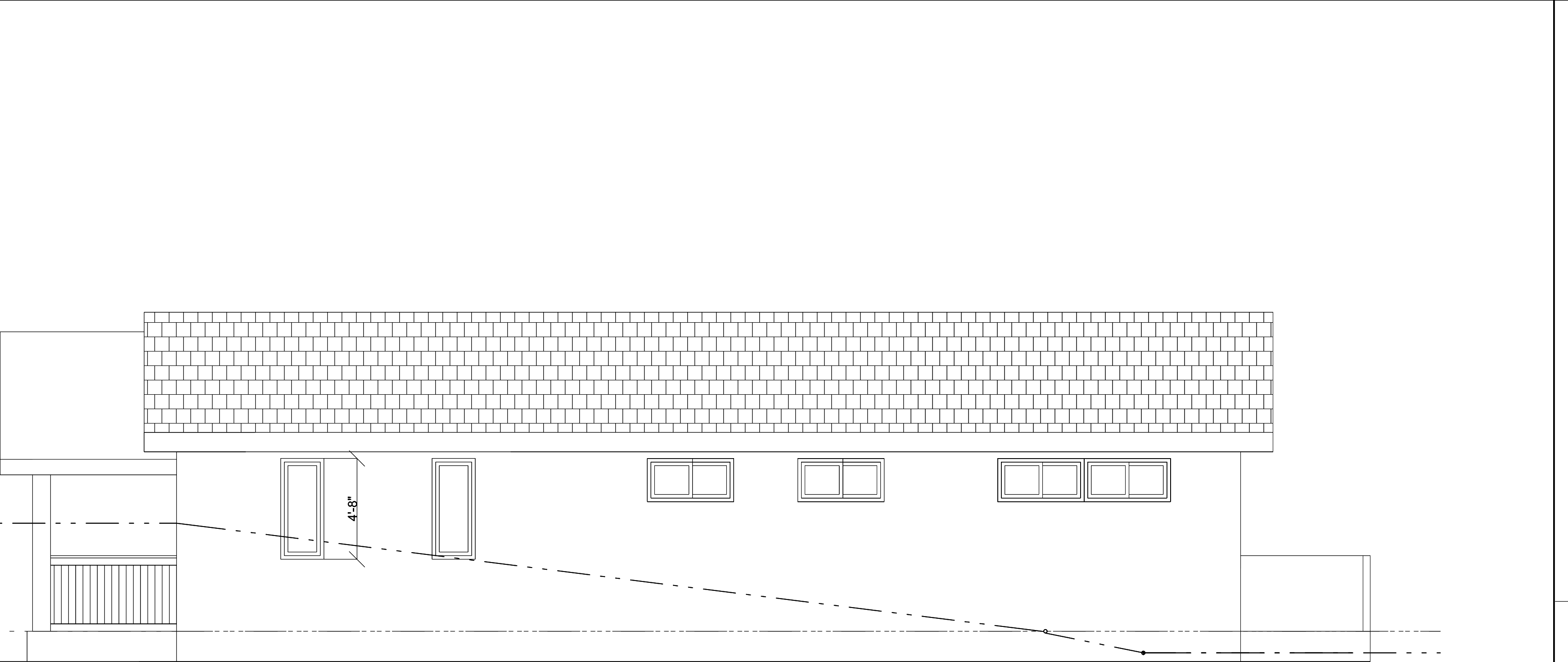
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SCALE: 1/4"=1'-0"



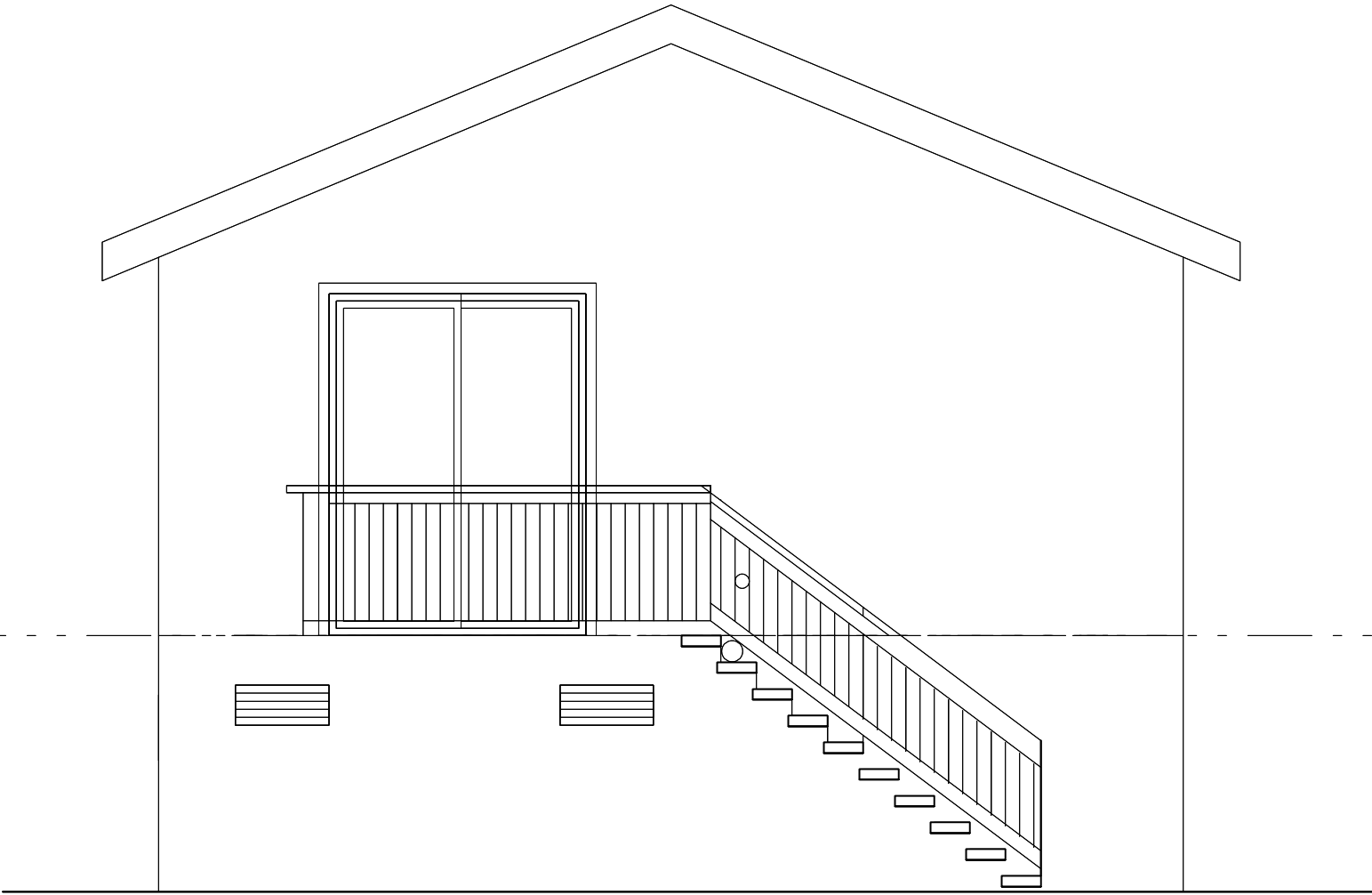
NORTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



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A4.2









WARNING
HIGH VOLTAGE
AHEAD
KEEP OFF

P77331

9.5











